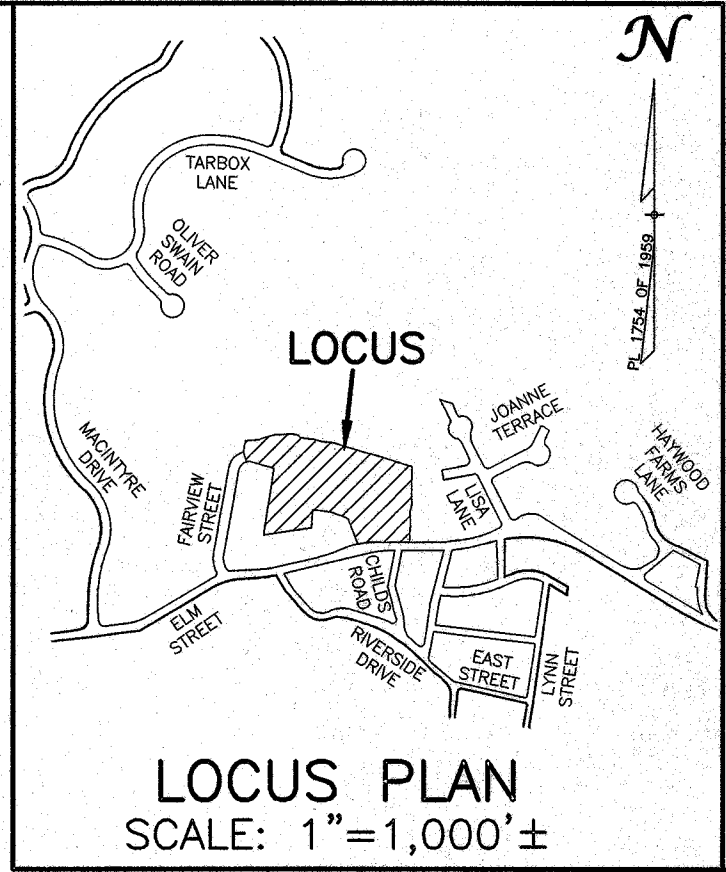
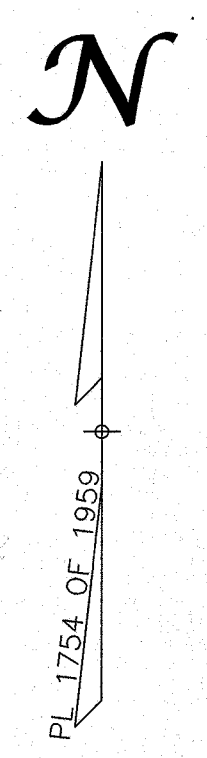
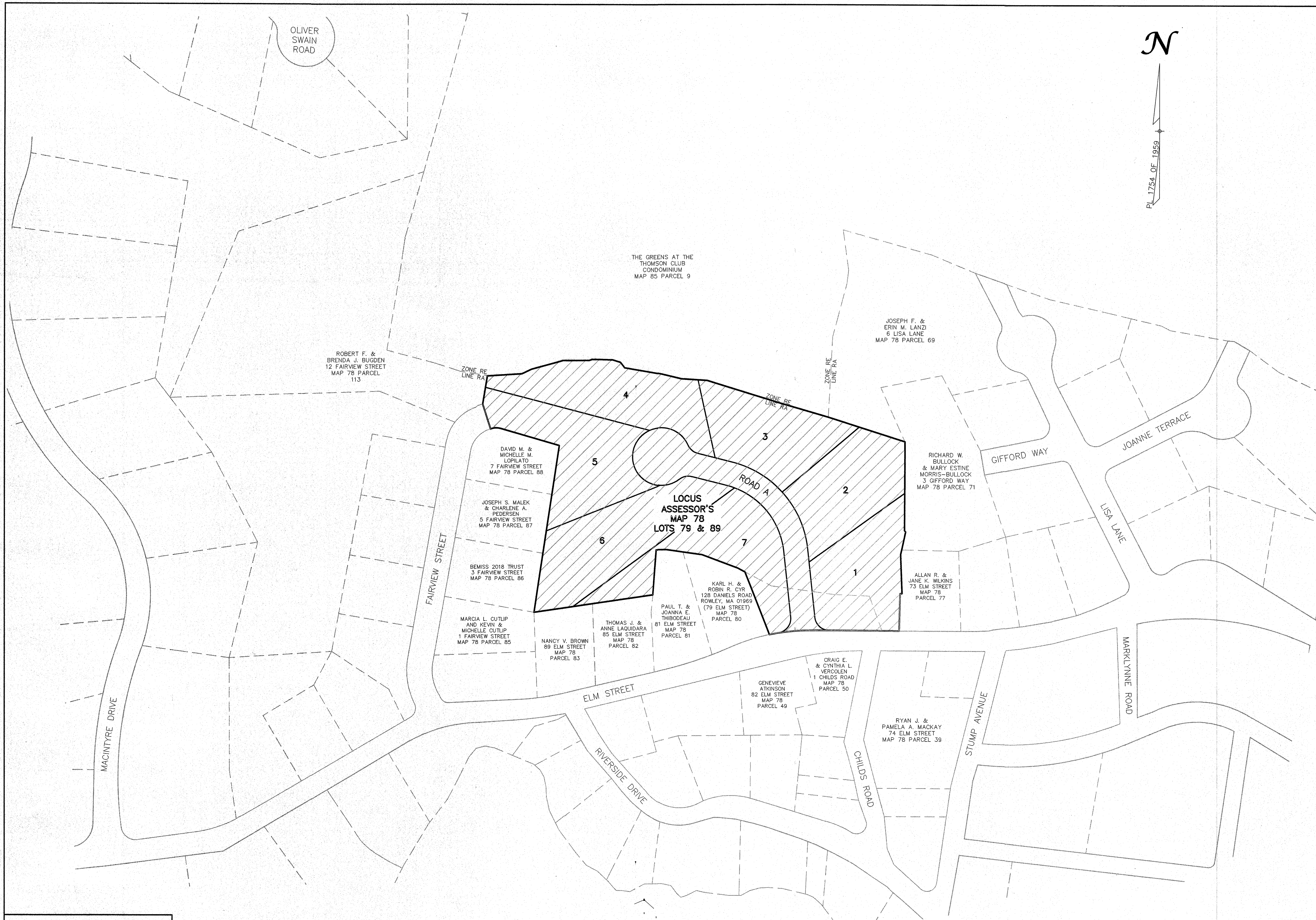




ZONING DISTRICT: Residence A

MINIMUM LOT AREA = 40,000 S.F.
MINIMUM CONTINUOUS LOT FRONTAGE = 160 FEET

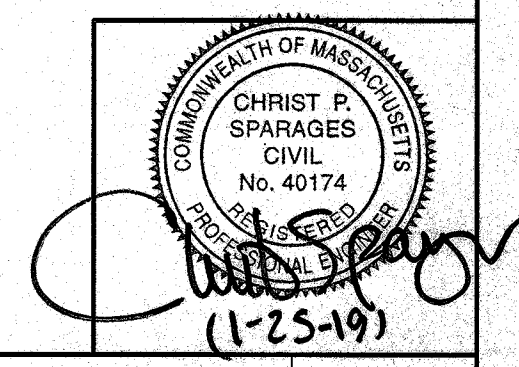
FRONT YARD SETBACK= 40 FEET
SIDE YARD SETBACK = 25 FEET
REAR YARD SETBACK = 50 FEET

MAXIMUM BUILDING HEIGHT = 35 FEET
MAXIMUM BUILDING HEIGHT = 2.5 STORIES
MAXIMUM BUILDING AREA = 20%

LEGEND OF ABBREVIATIONS
SBDH - STONE BOUND DRILL HOLE
DH - DRILL HOLE
(FND) - FOUND

NORTH READING
COMMUNITY PLANNING COMMISSION

DATE: _____



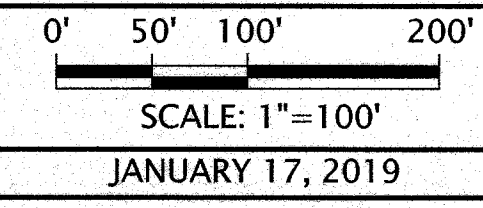
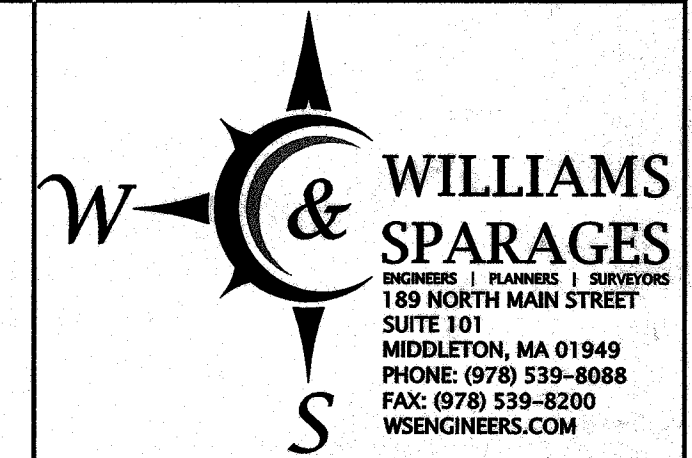
4		
3		
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1		
NO.	DESCRIPTION	DATE

**INDEX SHEET
ROAD A
NORTH READING, MA**

OWNER & APPLICANT:
77 ELM STREET LLC
PO BOX 548
NORTH READING, MA 01864

DEED REFERENCE:
BOOK 71352 PAGE 399

ASSESSORS REFERENCE:
MAP 78 LOT 79 & 89



**INDEX SHEET 1 OF 1
SHEET 1 OF 8**

I CERTIFY THAT I HAVE CONFORMED WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS IN PREPARING THIS PLAN.

WILLIAMS & SPARGES LLC

CLERKS CERTIFICATION ON THE PLAN
DATE: _____

I, _____, CLERK OF THE TOWN OF NORTH READING, DO HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE COMMUNITY PLANNING COMMISSION HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND THAT NO APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

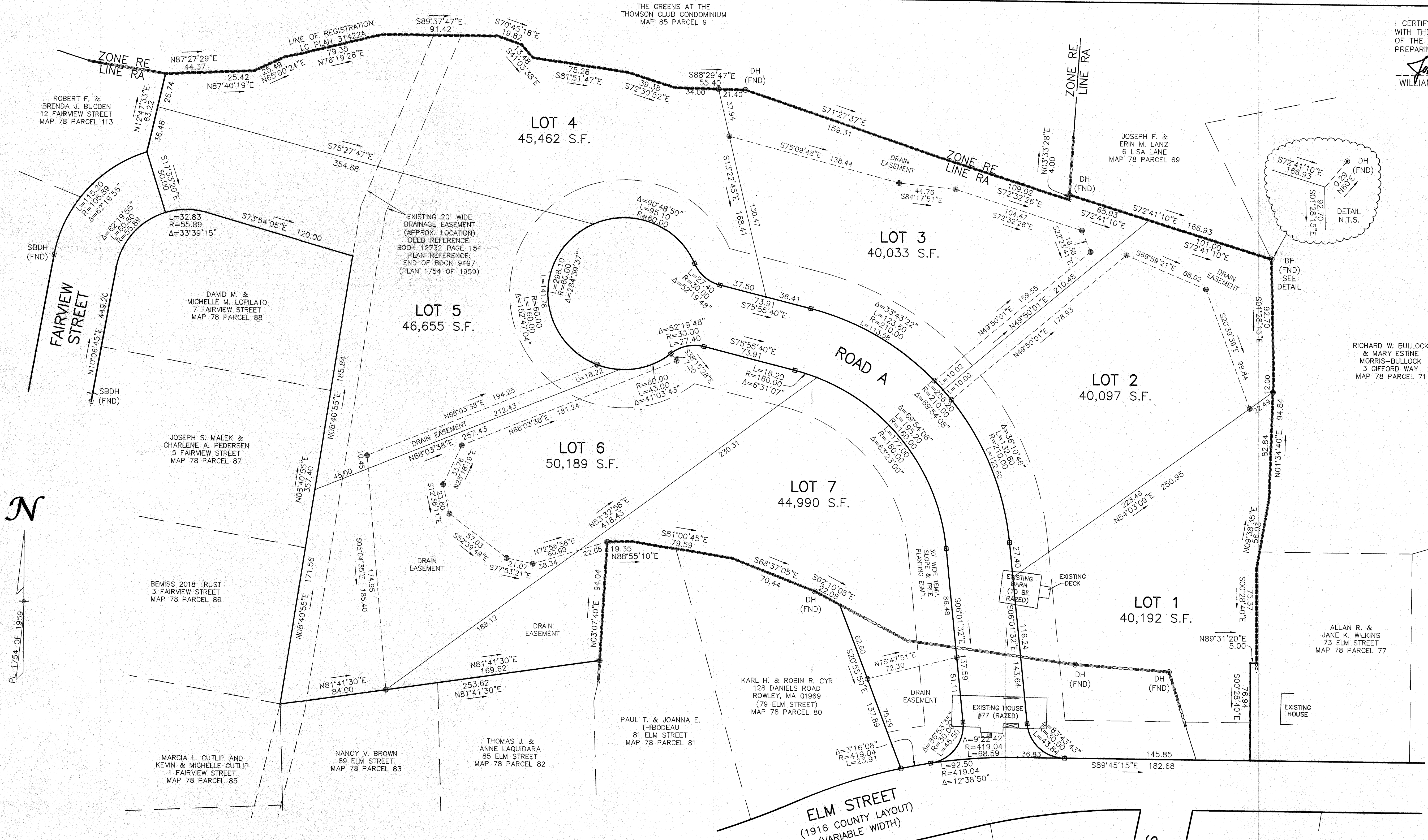
TOWN CLERK

NOTES:

1. PROPERTY DOES NOT LIE WITHIN A FLOOD HAZARD AREA (ZONE A) AS SHOWN ON FLOOD INSURANCE RATE MAP NUMBER 25017C0308E, EFFECTIVE DATE JUNE 4, 2010.
2. PROPERTY DOES NOT LIE WITHIN THE AQUIFER PROTECTION DISTRICT.

PLAN SET INDEX

- SHEET 1: INDEX SHEET
- SHEET 2: DEFINITIVE PLAN
- SHEET 3: DEFINITIVE PLAN (CPC DECISION)
- SHEET 4: PLAN & PROFILE
- SHEET 5: TOPOGRAPHIC PLAN
- SHEETS 6-8: CONSTRUCTION DETAILS



I CERTIFY THAT I HAVE CONFORMED WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS IN PREPARING THIS PLAN.

John J. O'Rourke P.L.S.
WILLIAMS & SPARAGES LLC

ZONING DISTRICT: Residence A

MINIMUM LOT AREA = 40,000 S.F.
MINIMUM CONTINUOUS LOT FRONTAGE = 160 FEET

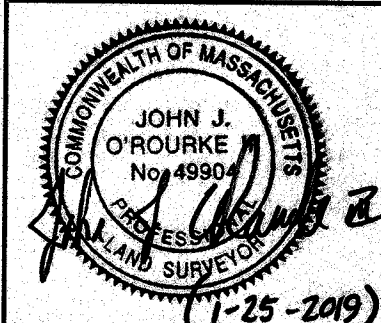
FRONT YARD SETBACK = 40 FEET
SIDE YARD SETBACK = 25 FEET
REAR YARD SETBACK = 50 FEET

MAXIMUM BUILDING HEIGHT = 35 FEET
MAXIMUM BUILDING HEIGHT = 2.5 STORIES
MAXIMUM BUILDING AREA = 20%

NORTH READING
COMMUNITY PLANNING COMMISSION

DATE: _____

- - DENOTES AN IRON PIPE TO BE SET BY OWNER UNLESS OTHERWISE NOTED.
- - DENOTES A GRANITE STONE BOUND WITH A DRILL HOLE TO BE SET BY THE OWNER UNLESS OTHERWISE NOTED.



NO.	DESCRIPTION	DATE
4		
3		
2		
1		

DEFINITIVE PLAN
ROAD A
NORTH READING, MA

OWNER & APPLICANT:
77 ELM STREET LLC
PO BOX 548
NORTH READING, MA 01864

DEED REFERENCE:
BOOK 71352 PAGE 399

ASSESSORS REFERENCE:
MAP 78 LOT 79 & 89

WILLIAMS & SPARAGES
ENGINEERS | PLANNERS | SURVEYORS
189 NORTH MAIN STREET
SUITE 101
MIDDLETON, MA 01949
PHONE: (978) 539-8088
FAX: (978) 539-9200
WSENGINEERS.COM

PLAN SHEET 1 OF 2

SHEET 2 OF 8

AREA TABULATION:
TOTAL PARCEL: 343,384 S.F.
TOTAL OF 7 LOTS: 307,622 S.F.
TOTAL OF ROADWAY: 35,762 S.F.
TOTAL OF EASEMENTS: 61,484± S.F.

(LOT 2 DRAIN EASEMENT: 8,832 S.F.)
(LOT 3 DRAIN EASEMENT: 11,213 S.F.)
(LOT 4 DRAINAGE EASEMENT: 2,292± S.F.)
(LOT 5 DRAIN EASEMENT: 2,025 S.F.)
(LOT 5 DRAINAGE EASEMENT: 5,060± S.F.)
(LOT 6 DRAIN EASEMENT: 15,455 S.F.)
(LOT 6 DRAINAGE EASEMENT: 3,488± S.F.)
(LOT 7 WEST DRAIN EASEMENT: 8,524 S.F.)
(LOT 7 EAST DRAIN EASEMENT: 4,595 S.F.)

PLAN REFERENCES:
1916 COUNTY LAYOUT (ELM STREET)
PLAN NO. 60 OF 1957
PLAN NO. 1754 OF 1959
PLAN NO. 279 OF 1960
PLAN NO. 1844 OF 1960
LC PLAN 31422A
PLAN NO. 784 OF 1996
PLAN NO. 483 OF 2002
(FILED AT MIDDLESEX SOUTH REGISTRY OF DEEDS)

LEGEND OF ABBREVIATIONS
SBDH - STONE BOUND DRILL HOLE
DH - DRILL HOLE
(FND) - FOUND

PLAN SET INDEX
SHEET 1: INDEX SHEET
SHEET 2: DEFINITIVE PLAN
SHEET 3: DEFINITIVE PLAN (CPC DECISION)
SHEET 4: PLAN & PROFILE
SHEET 5: TOPOGRAPHIC PLAN
SHEETS 6-8: DETAILS/ NOTES

CLERKS CERTIFICATION ON THE PLAN

DATE: _____

I, _____, CLERK OF THE TOWN OF NORTH READING, DO HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE COMMUNITY PLANNING COMMISSION HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND THAT NO APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

TOWN CLERK

NOTES:

1. PROPERTY DOES NOT LIE WITHIN A FLOOD HAZARD AREA (ZONE A) AS SHOWN ON FLOOD INSURANCE RATE MAP NUMBER 25017C0308E, EFFECTIVE DATE JUNE 4, 2010.

2. PROPERTY DOES NOT LIE WITHIN THE AQUIFER PROTECTION DISTRICT.

I CERTIFY THAT I HAVE CONFORMED WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS IN PREPARING THIS PLAN.

WILLIAMS & SPARAGES LLC

CLERKS CERTIFICATION ON THE PLAN

DATE: _____

I, _____, CLERK OF THE TOWN OF NORTH READING, DO HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE COMMUNITY PLANNING COMMISSION HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND THAT NO APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

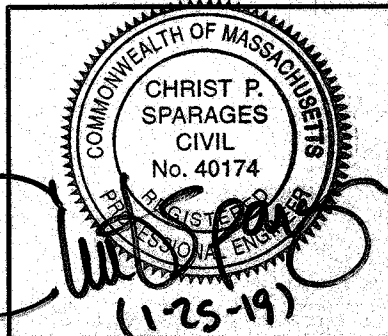
TOWN CLERK

List of Waivers
Definitive Subdivision Plan

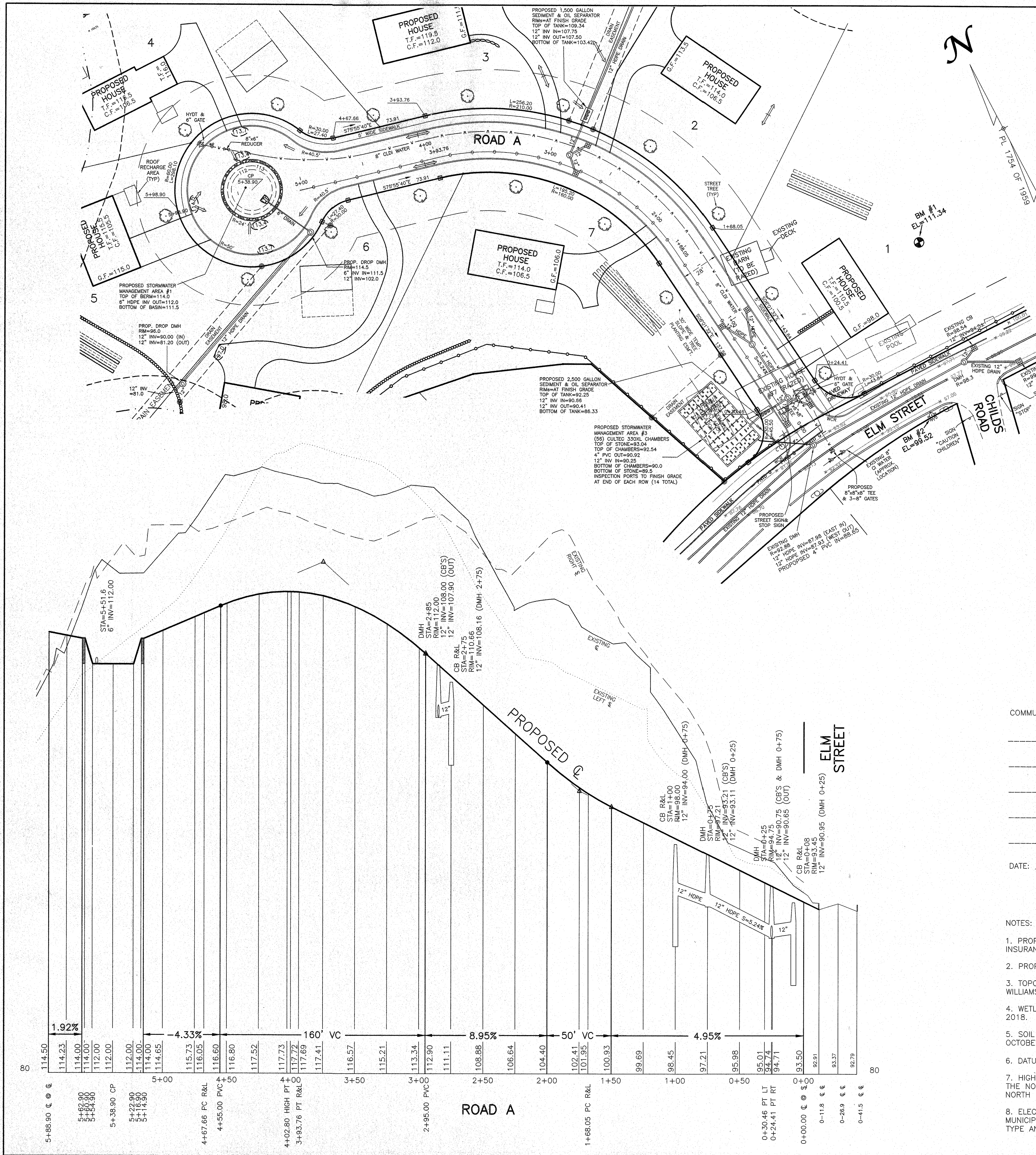
1. Section 350-14.E(3) - Dead-end Streets - Which requires dead-end streets not be longer than 500 feet unless the water is looped, and allow a 538.90 feet dead-end street without looping the water.
2. Section 350-25.c(5) and Schedule A (Typical Cross Section) - Reinforced Concrete Pipe - Which requires reinforced concrete pipe to be used for all drainage pipes, and allow HDPE, SCH40 PVC, and/or ductile iron pipe for all drainage pipes.
3. Schedule A - Typical Roadway Cross-Section - Which requires 3 feet of cover over drain pipe and 12" minimum diameter drain pipe, and allow for drain pipe as shown on the plans.
4. Section 350-14.E(4)(a) - Cul-de-sac - Which requires an outside roadway diameter of at least 100-feet and no circular landscape island, and allow an outside diameter of 100-feet and a circular landscape island as shown on the plans.

NORTH READING
COMMUNITY PLANNING COMMISSION

DATE: _____



4		
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NO.	DESCRIPTION	DATE
DEFINITIVE PLAN ROAD A NORTH READING, MA		
OWNER & APPLICANT: 77 ELM STREET LLC PO BOX 548 NORTH READING, MA 01864 DEED REFERENCE: BOOK 71352 PAGE 399 ASSESSORS REFERENCE: MAP 78 LOT 79 & 89		WILLIAMS & SPARAGES ENGINEERS PLANNERS SURVEYORS 189 NORTH MAIN STREET SUITE 101 MIDDLETON, MA 01949 PHONE: (978) 539-8088 FAX: (978) 539-8200 WSENGINEERS.COM
SCALE: NOT TO SCALE		PLAN SHEET 2 OF 2
JANUARY 17, 2019		SHEET 3 OF 8



CLERKS CERTIFICATION ON THE PLAN

DATE: _____

TOWN CLERK _____

I, _____, CLERK OF THE TOWN OF NORTH READING, DO HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE COMMUNITY PLANNING COMMISSION HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND THAT NO APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

WILLIAMS & SPARAGES LLC

DRIVEWAY RAMP DETAIL
(NOT TO SCALE)

TYPICAL ROAD CROSS SECTION
(NOT TO SCALE)

VERTICAL GRANITE CURB DETAIL
(NOT TO SCALE)

NOTES:

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- PROPERTY DOES NOT LIE WITHIN THE AQUIFER PROTECTION DISTRICT.
- TOPOGRAPHY SHOWN IS COMPILED FROM AN ACTUAL FIELD SURVEY PERFORMED BY WILLIAMS & SPARAGES, LLC FROM SEPTEMBER 2018 TO JANUARY 2019.
- WETLANDS SHOWN ON THIS PLAN FLAGGED BY WILLIAMS & SPARAGES, LLC ON AUGUST 29, 2018.
- SOIL TESTING CONDUCTED BY WILLIAMS & SPARAGES, LLC FROM SEPTEMBER 20, 2018 TO OCTOBER 31, 2018 AND WITNESSED BY THE NORTH READING BOARD OF HEALTH.
- DATUM FOR ELEVATION SHOWN IS ASSUMED. (TO OBTAIN NAVD88 ADD 7.27 TO ELEVATIONS)
- HIGH WATER MARK HAS BEEN DETERMINED THROUGH TEST HOLE PROGRAM WITNESSED BY THE NORTH READING BOARD OF HEALTH. TEST HOLE DATA IS ON FILE AT OFFICE OF THE NORTH READING BOARD OF HEALTH.
- ELECTRIC LAYOUT AND STREET LIGHT LOCATIONS TO BE DETERMINED BY THE READING MUNICIPAL LIGHT DEPARTMENT. STREET LIGHTS SHALL BE INSTALLED TO CONFORM TO THE TYPE AND STYLE AS REQUIRED BY THE DEPARTMENT OF PUBLIC WORKS.

BENCHMARKS: (ASSUMED DATUM)

#1) TOP DRILL HOLE REAR LOT 1 - ELEV=111.34

#2) SPINDLE HYDRANT AT INTERSECTION ELM STREET AND CHILDS ROAD - ELEV=99.52

#3) SPINDLE HYDRANT AT END FAIRVIEW STREET (REAR LOT 3) - ELEV=84.00 (SEE TOPO PLAN FOR LOCATION)

(ADD 7.27 TO ELEVATIONS TO OBTAIN NAVD88)

DATE: _____

DEFINITIVE PLAN & PROFILE
ROAD A
NORTH READING, MA

OWNER & APPLICANT:
77 ELM STREET LLC
PO BOX 548
NORTH READING, MA 01864

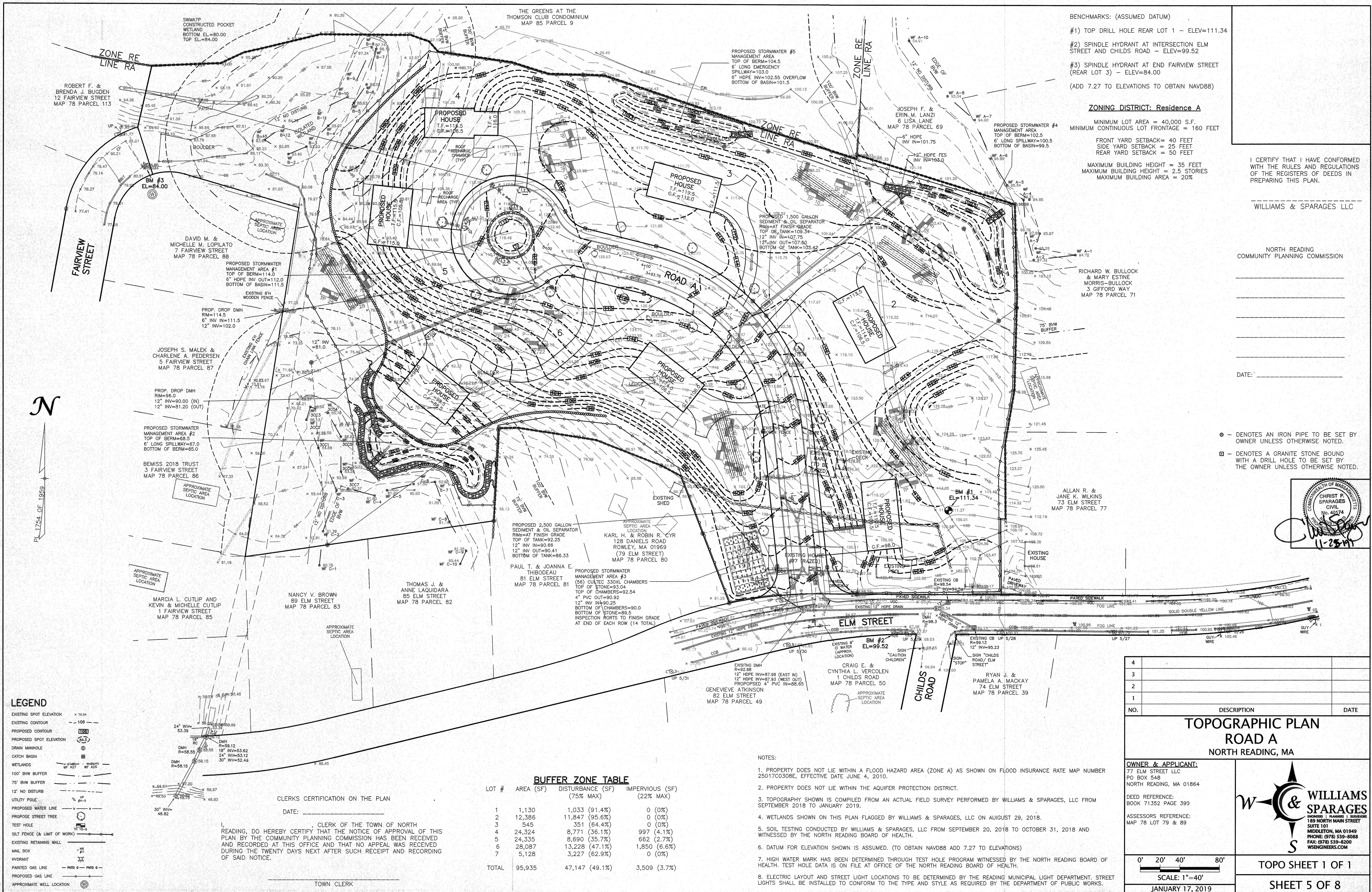
DEED REFERENCE:
BOOK 71352 PAGE 399

ASSESSORS REFERENCE:
MAP 78 LOT 79 & 89

WILLIAMS & SPARAGES
189 NORTH MAIN STREET
SUITE 101
MIDDLETON, MA 01949
PHONE: (978) 539-8088
FAX: (978) 539-8200
WSENGINEERS.COM

SCALE: 1"=40' (HOR) & 4' (VERT)
JANUARY 17, 2019

PROFILE SHEET 1 OF 1
SHEET 4 OF 8



BENCHMARKS: (ASSUMED DATUM)

#1) TOP DRILL HOLE REAR LOT 1 - ELEV=111.34

#2) SPINDLE HYDRANT AT INTERSECTION ELM STREET AND CHILDS ROAD - ELEV=99.52

#3) SPINDLE HYDRANT AT END FAIRVIEW STREET (REAR LOT 3) - ELEV=84.00

(ADD 7.27 TO ELEVATIONS TO OBTAIN NAVD88)

ZONING DISTRICT: Residence A

MINIMUM LOT AREA = 40,000 S.F.

MINIMUM CONTINUOUS LOT FRONTAGE = 160 FEET

FRONT YARD SETBACK= 40 FEET

SIDE YARD SETBACK = 25 FEET

REAR YARD SETBACK = 50 FEET

MAXIMUM BUILDING HEIGHT = 35 FEET

MAXIMUM BUILDING HEIGHT = 2.5 STORIES

MAXIMUM BUILDING AREA = 20%

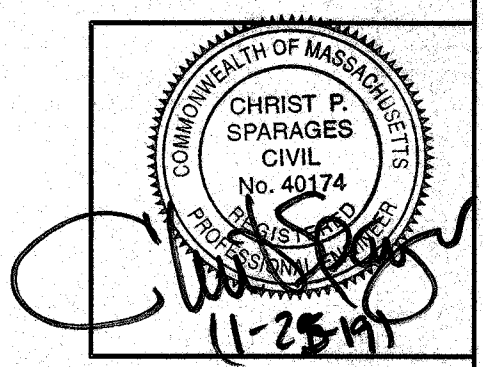
I CERTIFY THAT I HAVE CONFORMED WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS IN PREPARING THIS PLAN.

WILLIAMS & SPARAGES LLC

NORTH READING COMMUNITY PLANNING COMMISSION

DATE: _____

- - DENOTES AN IRON PIPE TO BE SET BY OWNER UNLESS OTHERWISE NOTED.
- - DENOTES A GRANITE STONE BOUND WITH A DRILL HOLE TO BE SET BY THE OWNER UNLESS OTHERWISE NOTED.



NO.	DESCRIPTION	DATE
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TOPOGRAPHIC PLAN
ROAD A
NORTH READING, MA

OWNER & APPLICANT:
77 ELM STREET LLC
PO BOX 548
NORTH READING, MA 01864

DEED REFERENCE:
BOOK 71352 PAGE 399

ASSESSORS REFERENCE:
MAP 78 LOT 79 & 89

WILLIAMS & SPARAGES
ENGINEERS & PLANNERS
189 NORTH MAIN STREET
SUITE 101
MIDDLETON, MA 01949
PHONE: (978) 539-8088
FAX: (978) 539-8200
WSENGINEERS.COM

0' 20' 40' 80'

SCALE: 1"=40'

JANUARY 17, 2019

TOPO SHEET 1 OF 1

SHEET 5 OF 8

- NOTES:
- PROPERTY DOES NOT LIE WITHIN A FLOOD HAZARD AREA (ZONE A) AS SHOWN ON FLOOD INSURANCE RATE MAP NUMBER 25017C0308E, EFFECTIVE DATE JUNE 4, 2010.
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 - HIGH WATER MARK HAS BEEN DETERMINED THROUGH TEST HOLE PROGRAM WITNESSED BY THE NORTH READING BOARD OF HEALTH. TEST HOLE DATA IS ON FILE AT OFFICE OF THE NORTH READING BOARD OF HEALTH.
 - ELECTRIC LAYOUT AND STREET LIGHT LOCATIONS TO BE DETERMINED BY THE READING MUNICIPAL LIGHT DEPARTMENT. STREET LIGHTS SHALL BE INSTALLED TO CONFORM TO THE TYPE AND STYLE AS REQUIRED BY THE DEPARTMENT OF PUBLIC WORKS.

BUFFER ZONE TABLE			
LOT #	AREA (SF)	DISTURBANCE (SF) (75% MAX)	IMPERVIOUS (SF) (22% MAX)
1	1,130	1,033 (91.4%)	0 (0%)
2	12,386	11,847 (95.6%)	0 (0%)
3	545	351 (64.4%)	0 (0%)
4	24,324	8,771 (36.1%)	997 (4.1%)
5	24,335	8,690 (35.7%)	662 (2.7%)
6	28,087	13,228 (47.1%)	1,850 (6.6%)
7	5,128	3,227 (62.9%)	0 (0%)
TOTAL	95,935	47,147 (49.1%)	3,509 (3.7%)

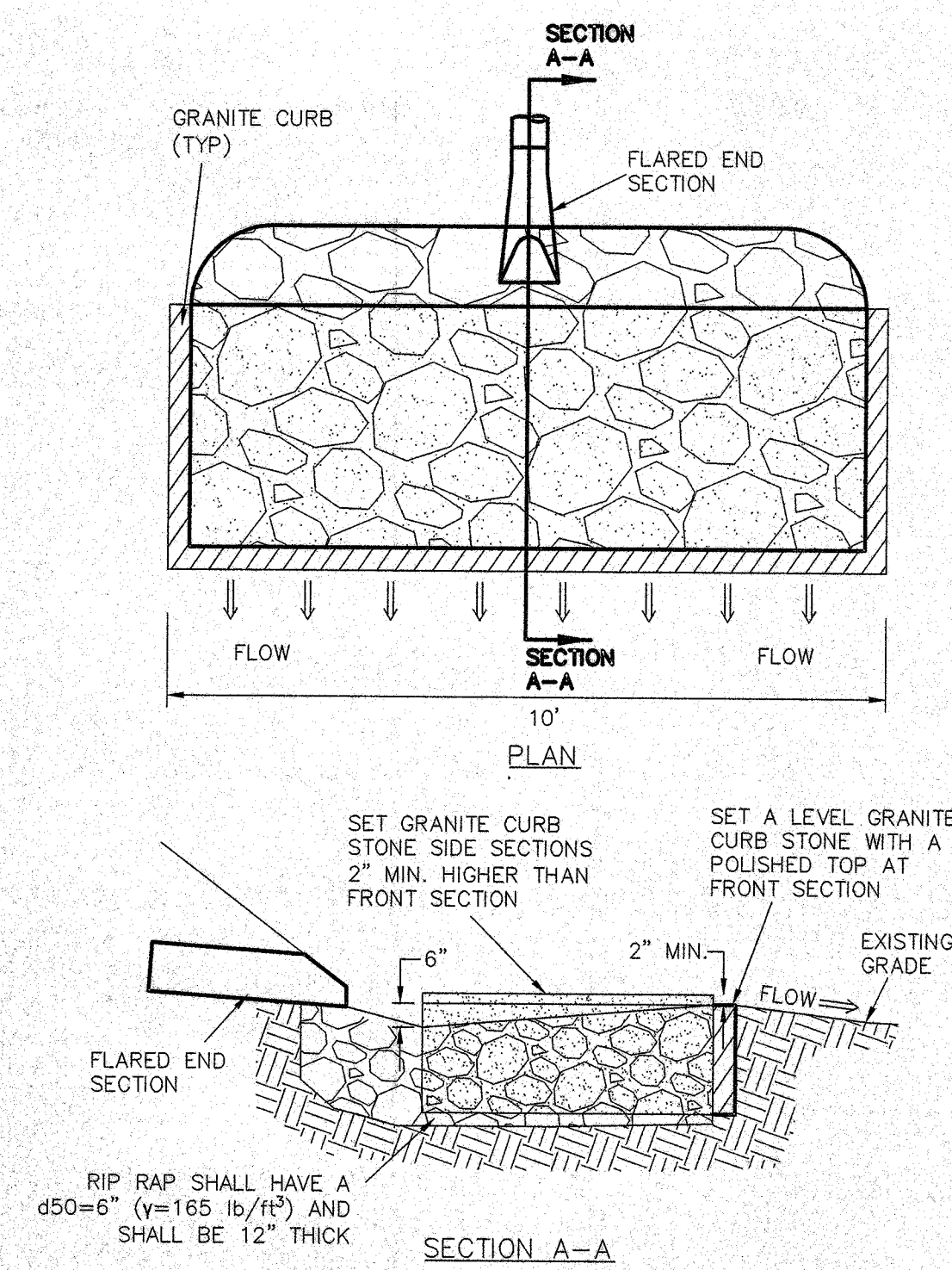
- LEGEND**
- EXISTING SPOT ELEVATION
 - EXISTING CONTOUR
 - PROPOSED CONTOUR
 - PROPOSED SPOT ELEVATION
 - RAIN MANHOLE
 - CATCH BASIN
 - WETLANDS
 - 100' BWV BUFFER
 - 75' BWV BUFFER
 - 12' NO DISTURB
 - UTILITY POLE
 - PROPOSED WATER LINE
 - PROPOSED STREET TREE
 - TEST HOLE
 - SILT FENCE (& LIMIT OF WORK)
 - EXISTING RETAINING WALL
 - MAIL BOX
 - HYDRANT
 - PAINTED GAS LINE
 - PROPOSED GAS LINE
 - APPROXIMATE WELL LOCATION

CLERKS CERTIFICATION ON THE PLAN

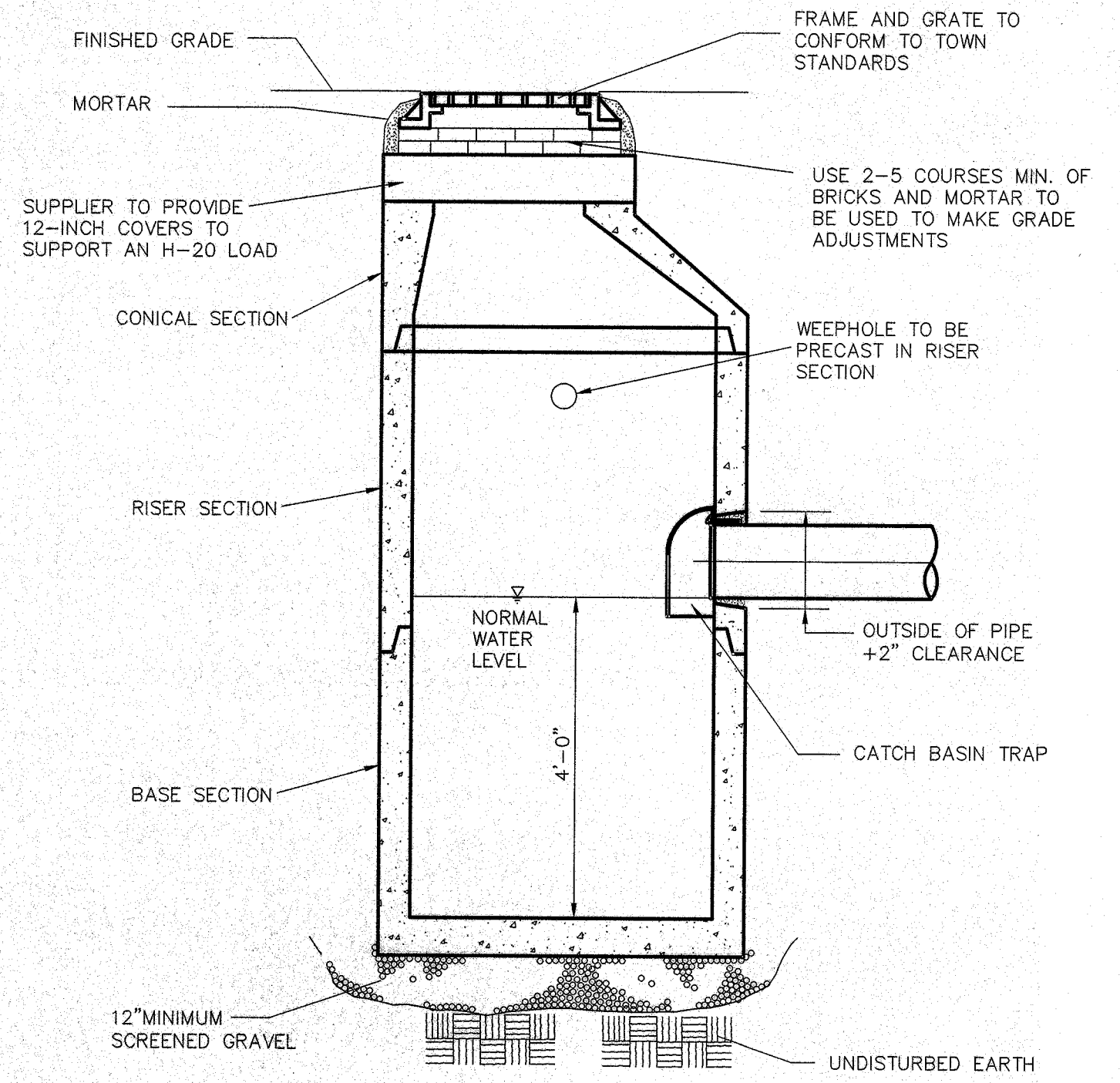
DATE: _____

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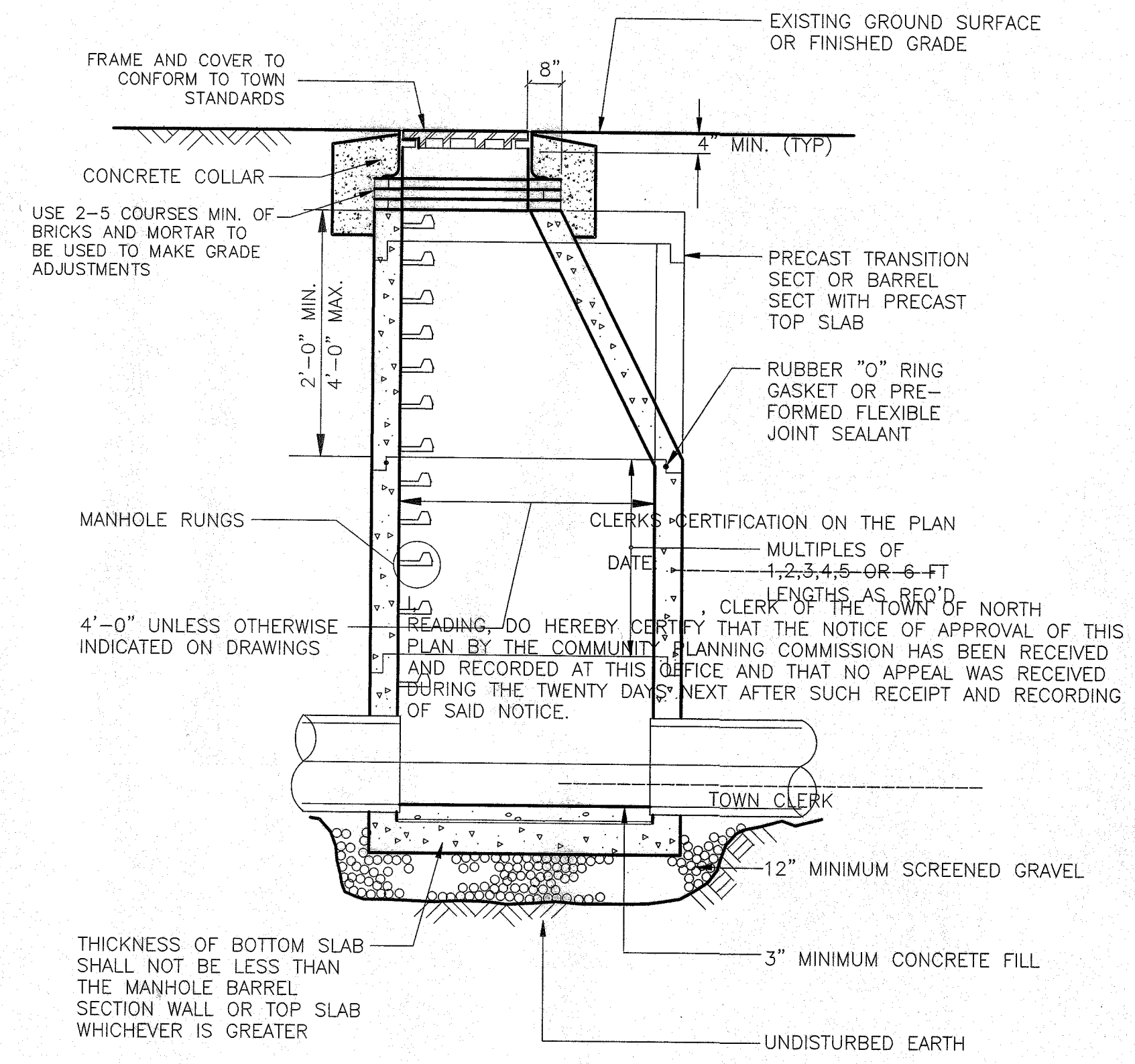
TOWN CLERK



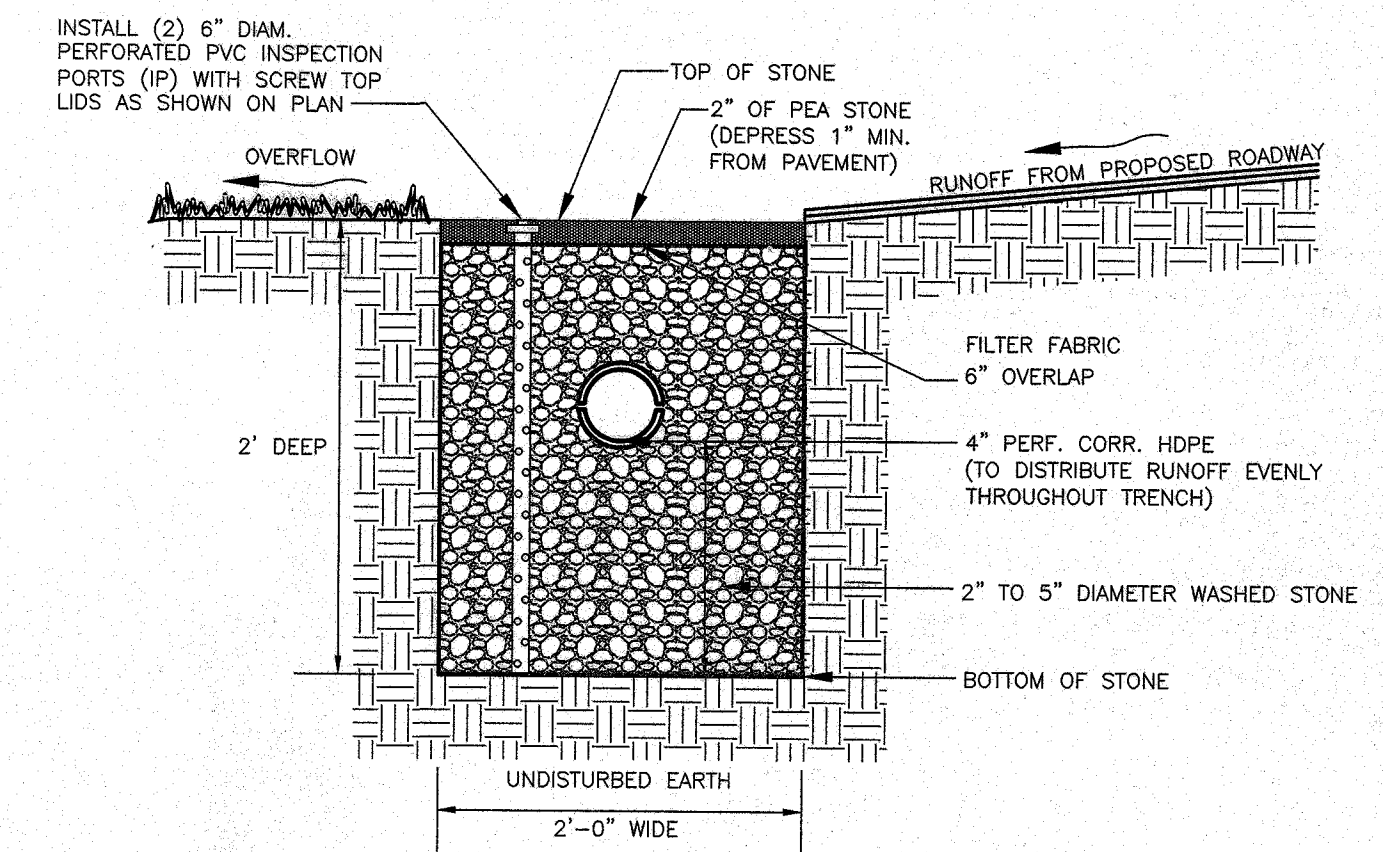
LEVEL SPREADER
DETAIL
(NOT TO SCALE)



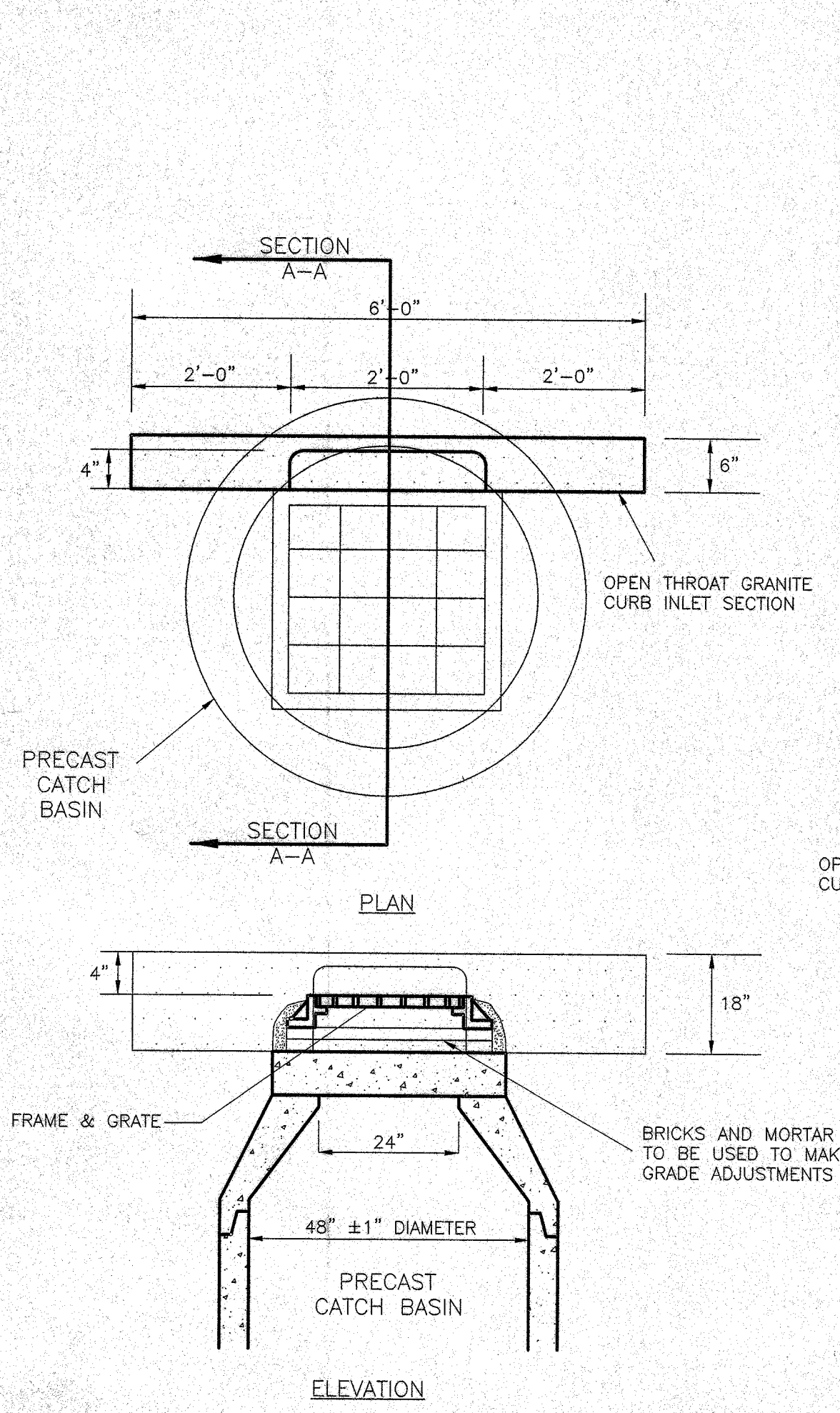
PRECAST CATCH BASIN
DETAIL
(NOT TO SCALE)



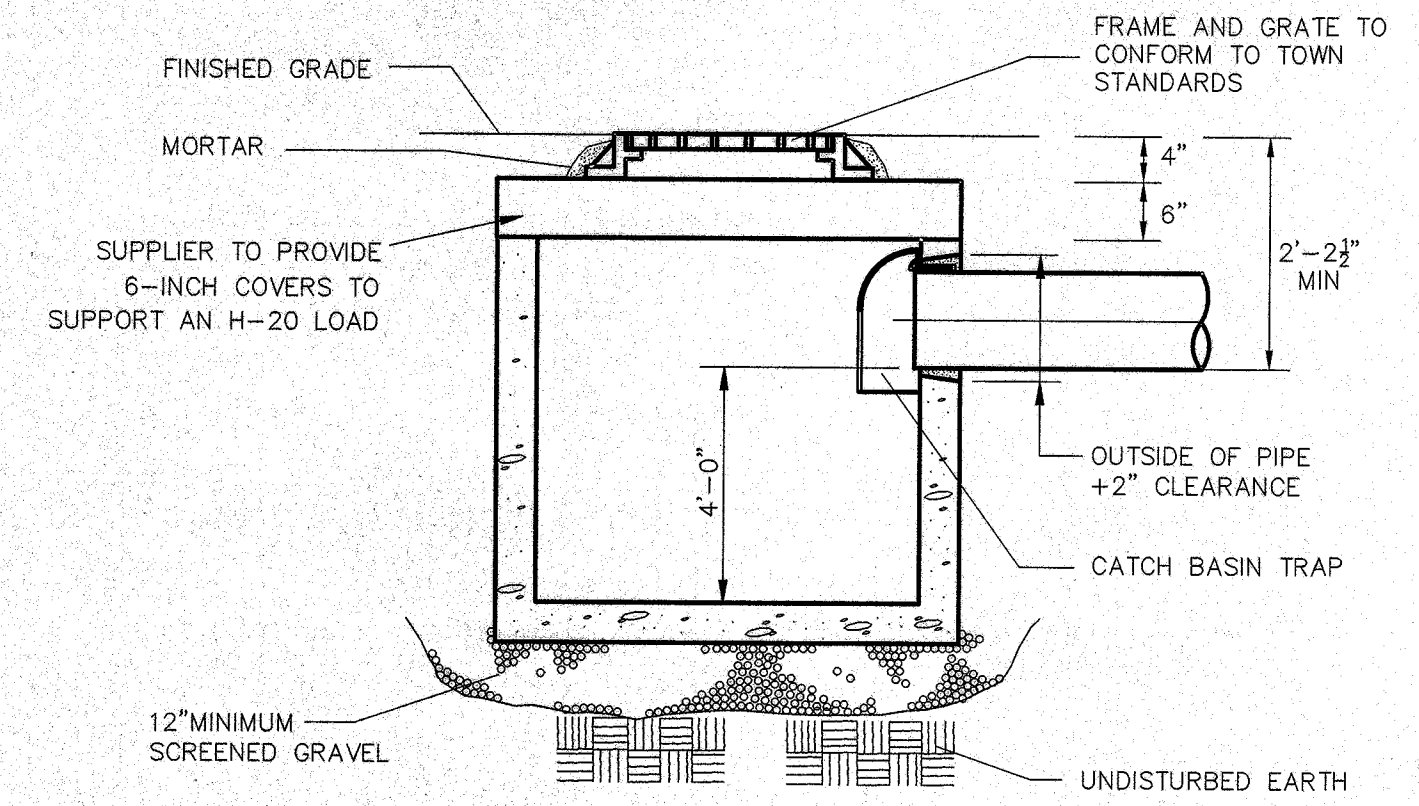
PRECAST DRAIN MANHOLE
DETAIL
(NOT TO SCALE)



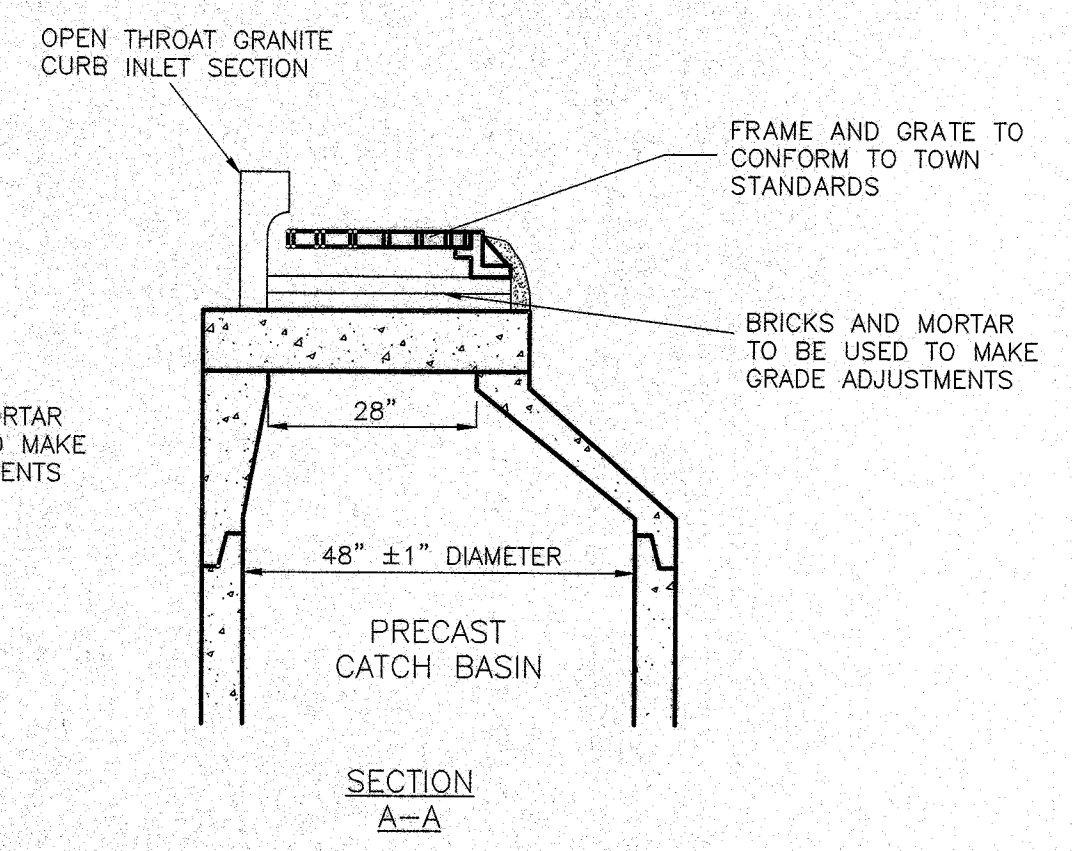
STONE TRENCH FOR
ROADWAY RUNOFF
DETAIL
(NOT TO SCALE)



GRANITE CURB INLET DETAIL
(NOT TO SCALE)
SINGLE GRATE



PRECAST SHALLOW CATCH BASIN
DETAIL
(NOT TO SCALE)



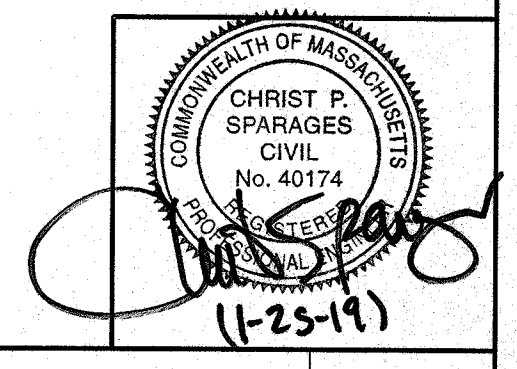
SECTION
A-A

I CERTIFY THAT I HAVE CONFORMED
WITH THE RULES AND REGULATIONS
OF THE REGISTERS OF DEEDS IN
PREPARING THIS PLAN.

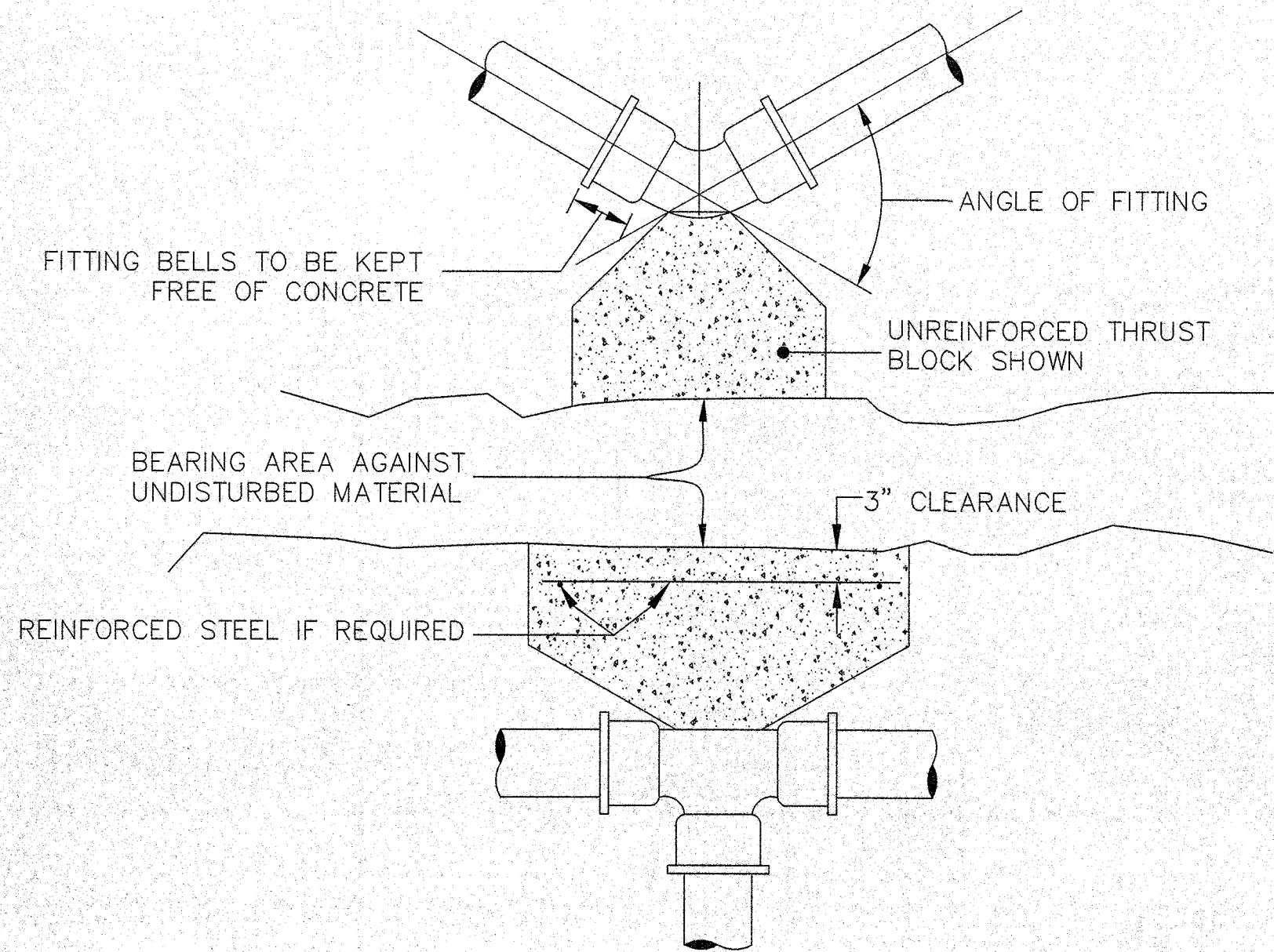
WILLIAMS & SPARAGES LLC

NORTH READING
COMMUNITY PLANNING COMMISSION

DATE: _____



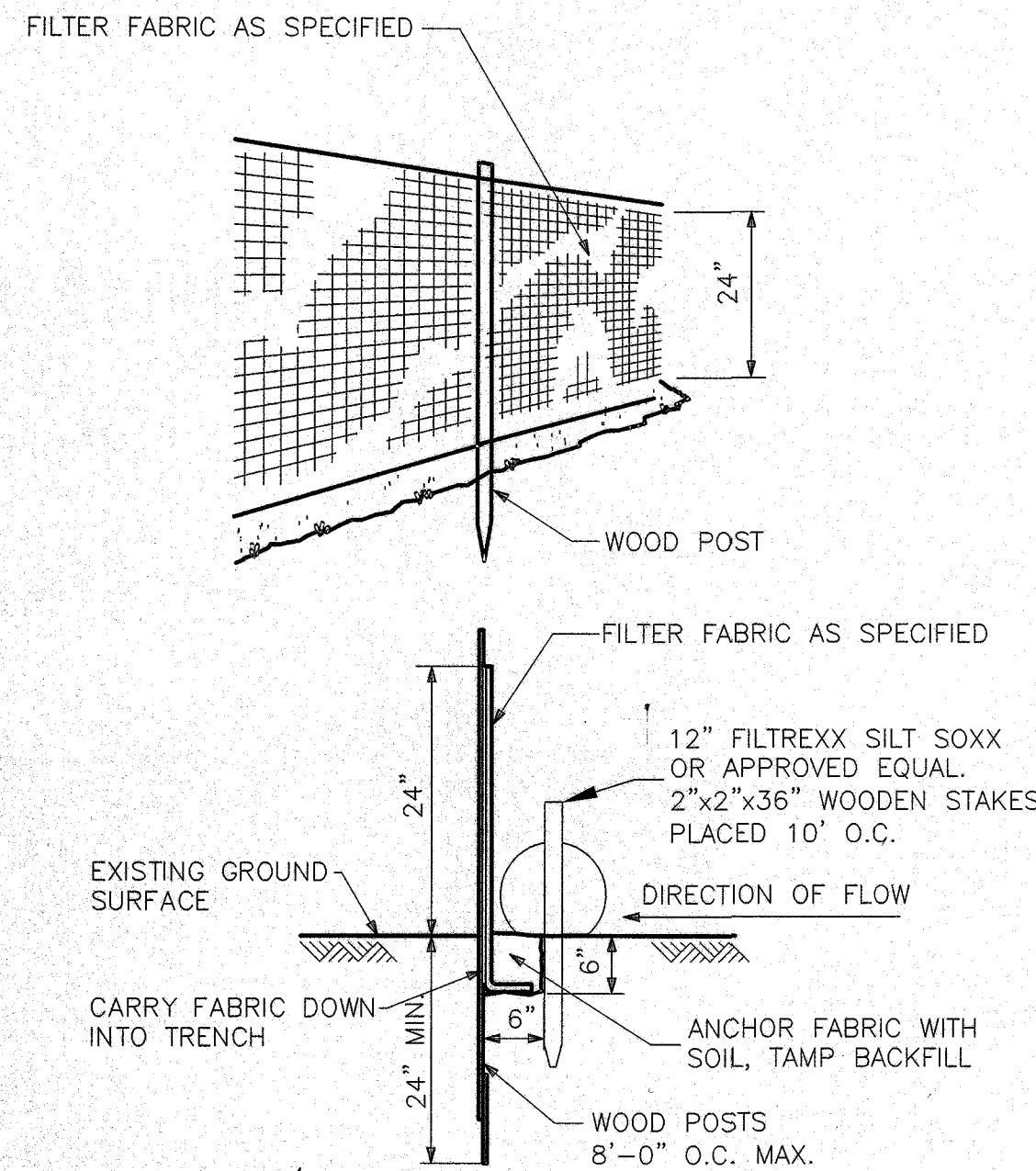
4		
3		
2		
1		
NO.	DESCRIPTION	DATE
CONSTRUCTION DETAILS ROAD A NORTH READING, MA		
OWNER & APPLICANT: 77 ELM STREET LLC PO BOX 548 NORTH READING, MA 01864		
DEED REFERENCE: BOOK 71352 PAGE 399		
ASSESSORS REFERENCE: MAP 78 LOT 79 & 89		
SCALE: NOT TO SCALE		
JANUARY 17, 2019		
DETAIL SHEET 1 OF 3		
SHEET 6 OF 8		



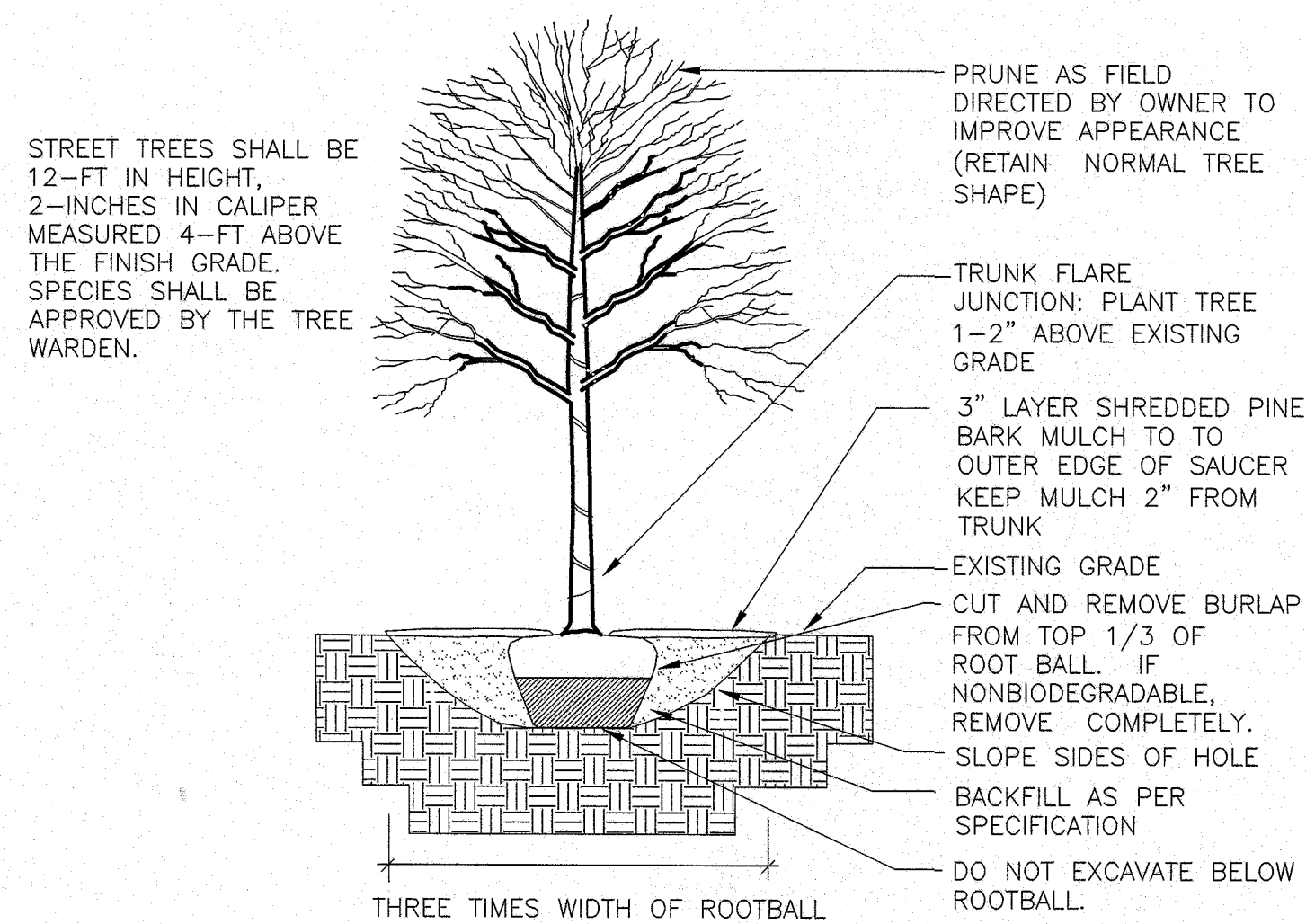
NOTE: THRUST BLOCKS TO BE 3000 P.S.I. CONCRETE PLACED AGAINST UNDISTURBED MATERIAL.

MINIMUM BEARING FACE AREA FOR CONCRETE THRUST BLOCK					
PIPE DIAMETER INCHES	6 in.	8 in.	10 in.	12 in.	
HYDRANTS, PLUGS, CAPS, AND TEES (S.F.)	4	6	9	13	
90° (S.F.)	8	12	19	26	
45° (S.F.)	5	8	13	18	
22 1/2° (S.F.)	3	5	7	10	

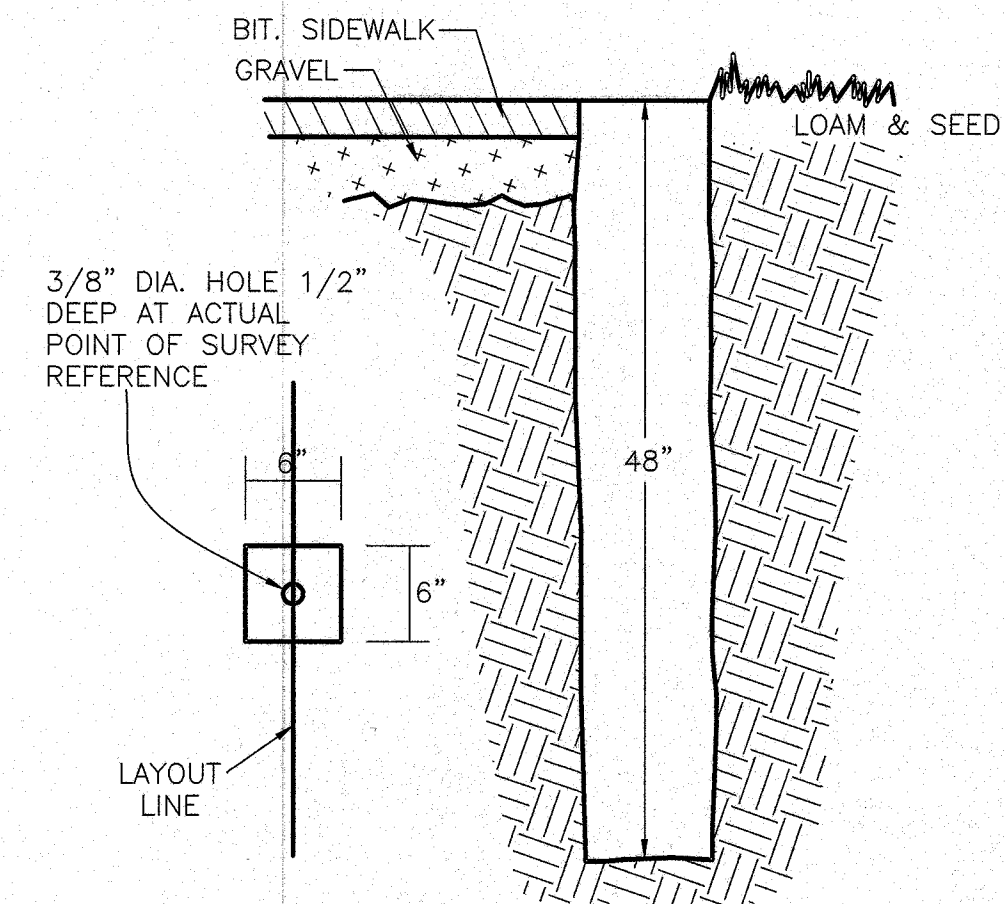
THRUST BLOCK DETAIL
(NOT TO SCALE)



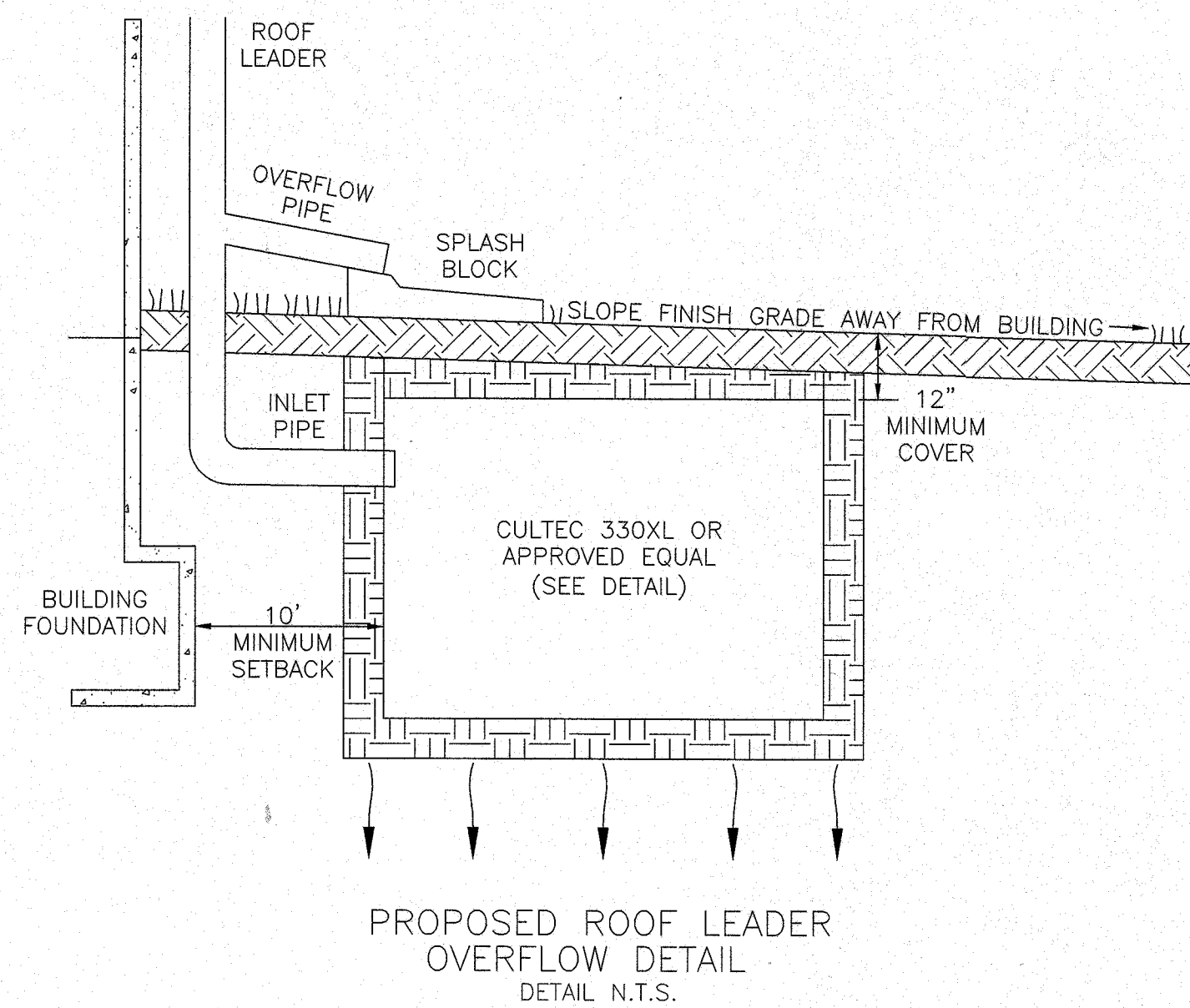
SILTFENCE W/SILT "SOXX" DETAIL
(NOT TO SCALE)



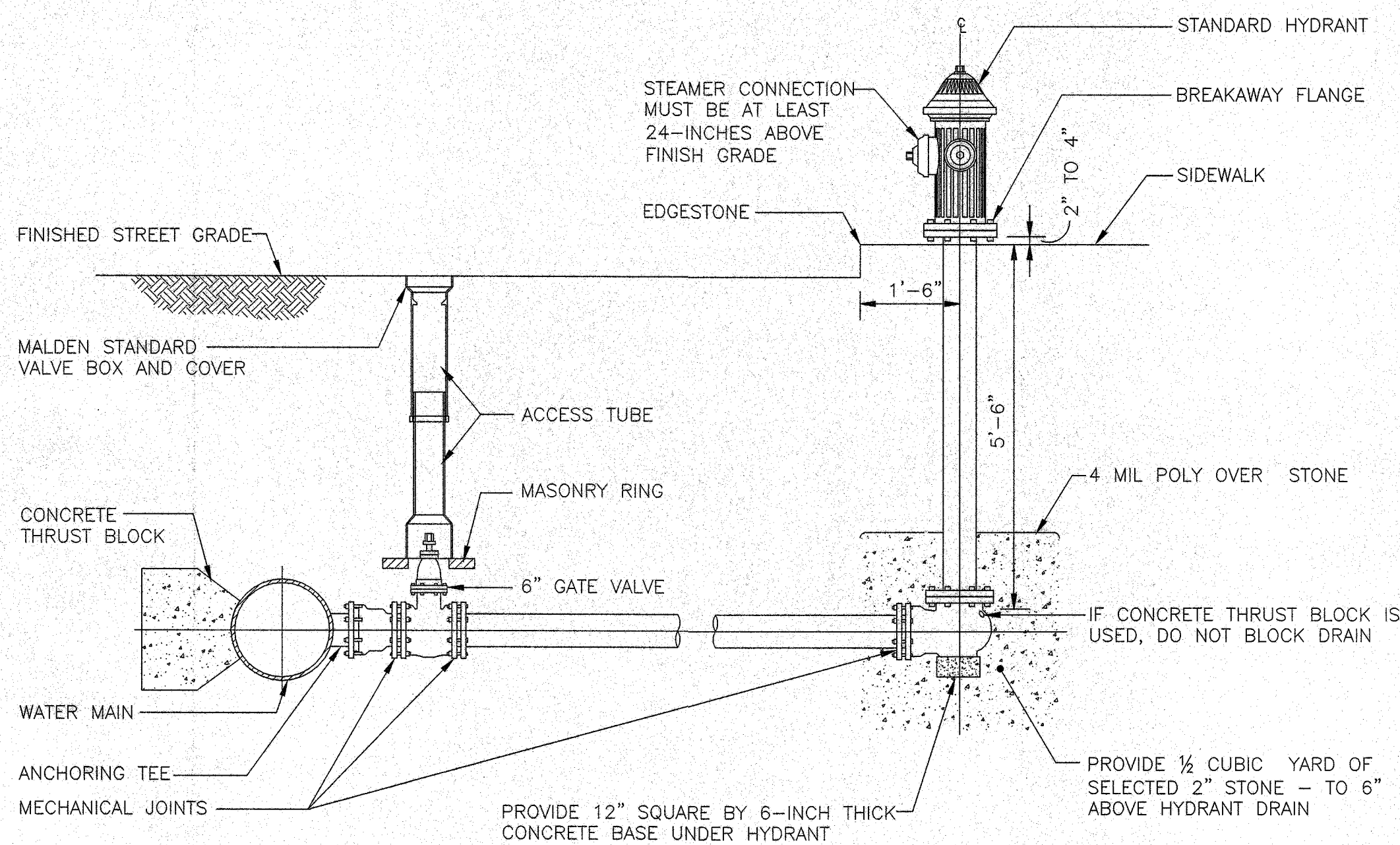
DECIDUOUS TREE PLANTING DETAIL
(NOT TO SCALE)



GRANITE BOUND DETAIL
(NOT TO SCALE)

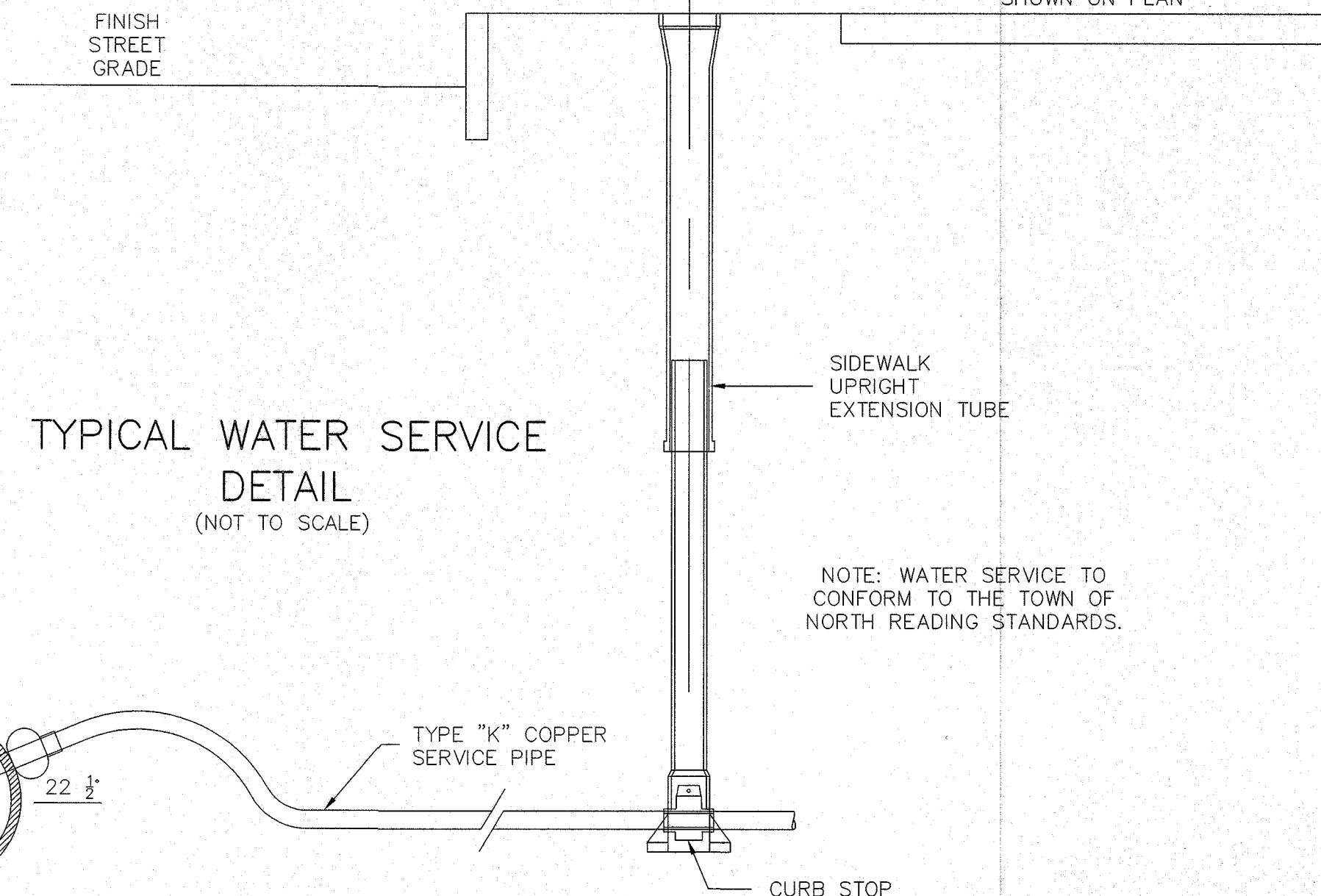


PROPOSED ROOF LEADER OVERFLOW DETAIL
DETAIL N.T.S.



NOTE: CONCRETE THRUST BLOCK TO BE USED ONLY WHERE IT WILL BEAR ON UNDISTURBED EARTH. USE RESTRAINED JOINT FITTINGS (MEGALUG OR APPROVED EQUAL) WHERE CONCRETE THRUST BLOCK IS UNACCEPTABLE. SIZE OF BLOCK OR MEGALUG TO BE DESIGNED FOR 1.5 TIMES NORMAL OPERATING PRESSURE.

TYPICAL FIRE HYDRANT CONNECTION FOR HIGH OR LOW SERVICE LINE DETAIL
(NOT TO SCALE)



TYPICAL WATER SERVICE DETAIL
(NOT TO SCALE)

NOTE: WATER SERVICE TO CONFORM TO THE TOWN OF NORTH READING STANDARDS.

CLERKS CERTIFICATION ON THE PLAN

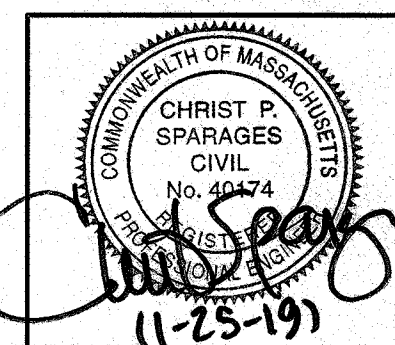
DATE: _____

I, _____, CLERK OF THE TOWN OF NORTH READING, DO HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE COMMUNITY PLANNING COMMISSION HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND THAT NO APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

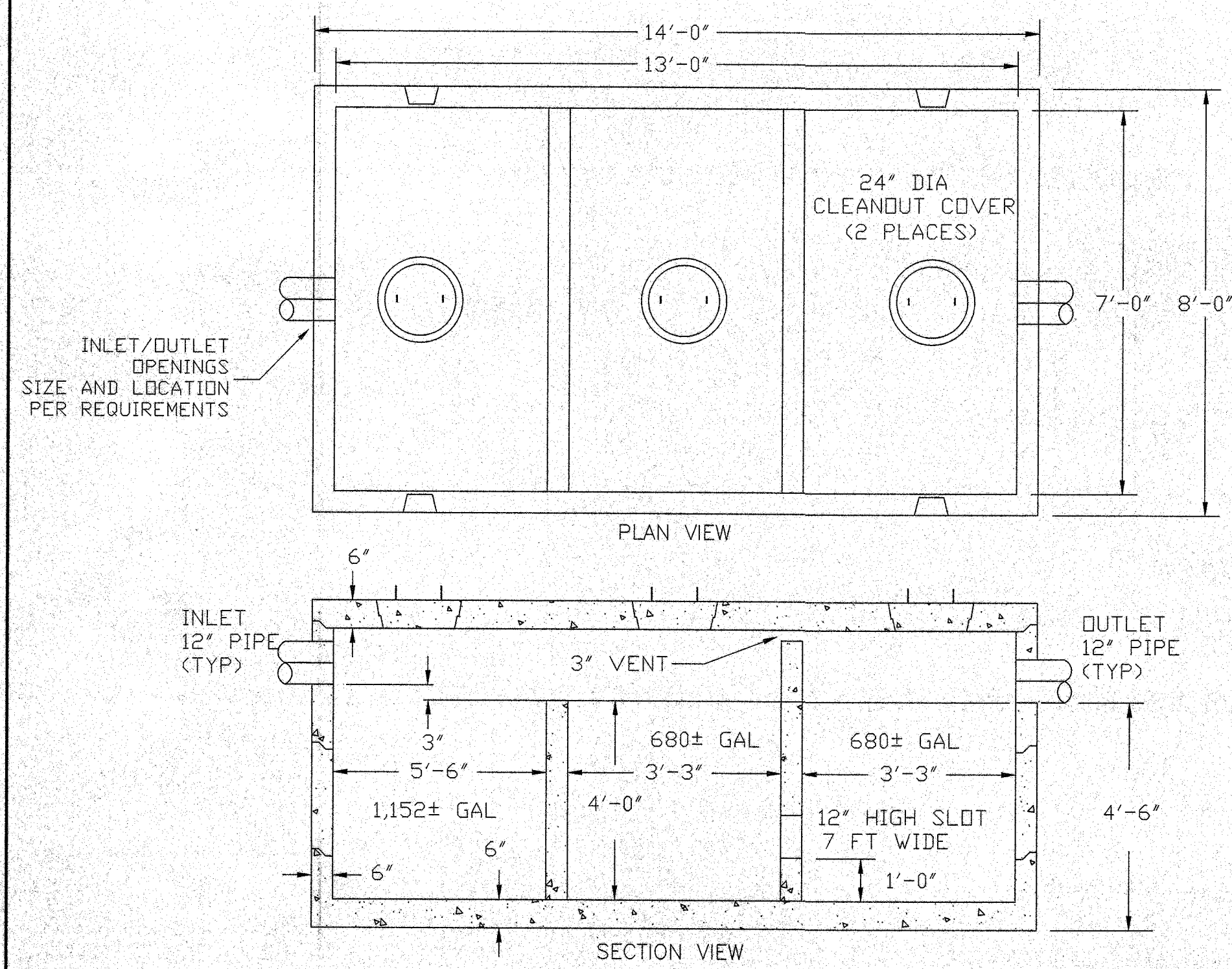
TOWN CLERK

NORTH READING COMMUNITY PLANNING COMMISSION

DATE: _____



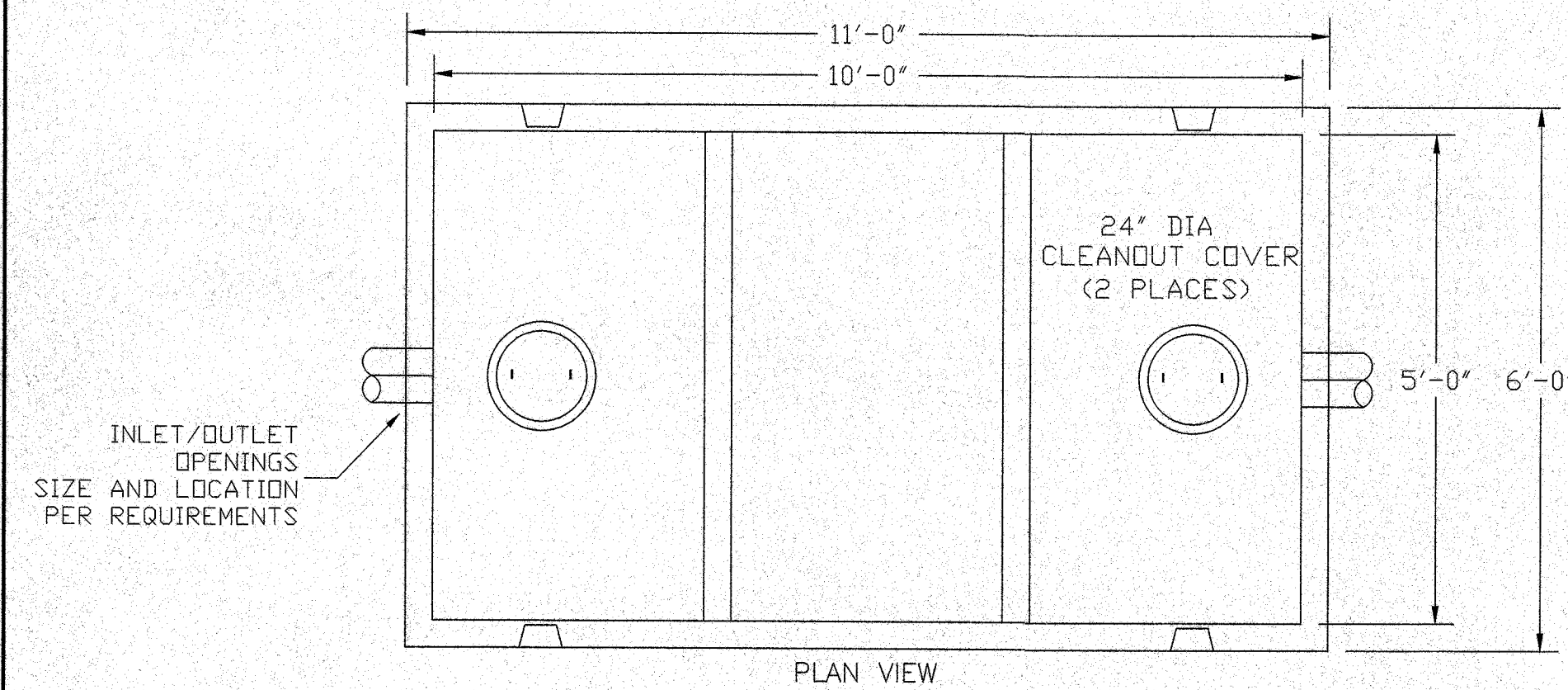
4		
3		
2		
1		
NO.	DESCRIPTION	DATE
CONSTRUCTION DETAILS		
ROAD A		
NORTH READING, MA		
OWNER & APPLICANT: 77 ELM STREET LLC PO BOX 548 NORTH READING, MA 01864 DEED REFERENCE: BOOK 71352 PAGE 399 ASSESSORS REFERENCE: MAP 78 LOT 79 & 89		 WILLIAMS & SPARAGES ENGINEERS & PLANNERS & SURVEYORS 189 NORTH MAIN STREET SUITE 101 MIDDLETON, MA 01949 PHONE: (978) 539-8088 FAX: (978) 539-8200 WSENGINEERS.COM
SCALE: NOT TO SCALE		DETAIL SHEET 2 OF 3
JANUARY 17, 2019		SHEET 7 OF 8



- NOTES:
1. CONCRETE: 5,000 PSI MINIMUM AFTER 28 DAYS.
 2. DESIGNED FOR H-20 LOADING, COVER 1 TO 5 FEET.
 3. TONGUE AND GROOVE JOINT SEALED WITH BUTYL RESIN. INLET HEIGHT MAY INCREASE SLIGHTLY DUE TO THE BUTYL RESIN USED.

2500 GALLON SEDIMENT AND OIL SEPARATOR

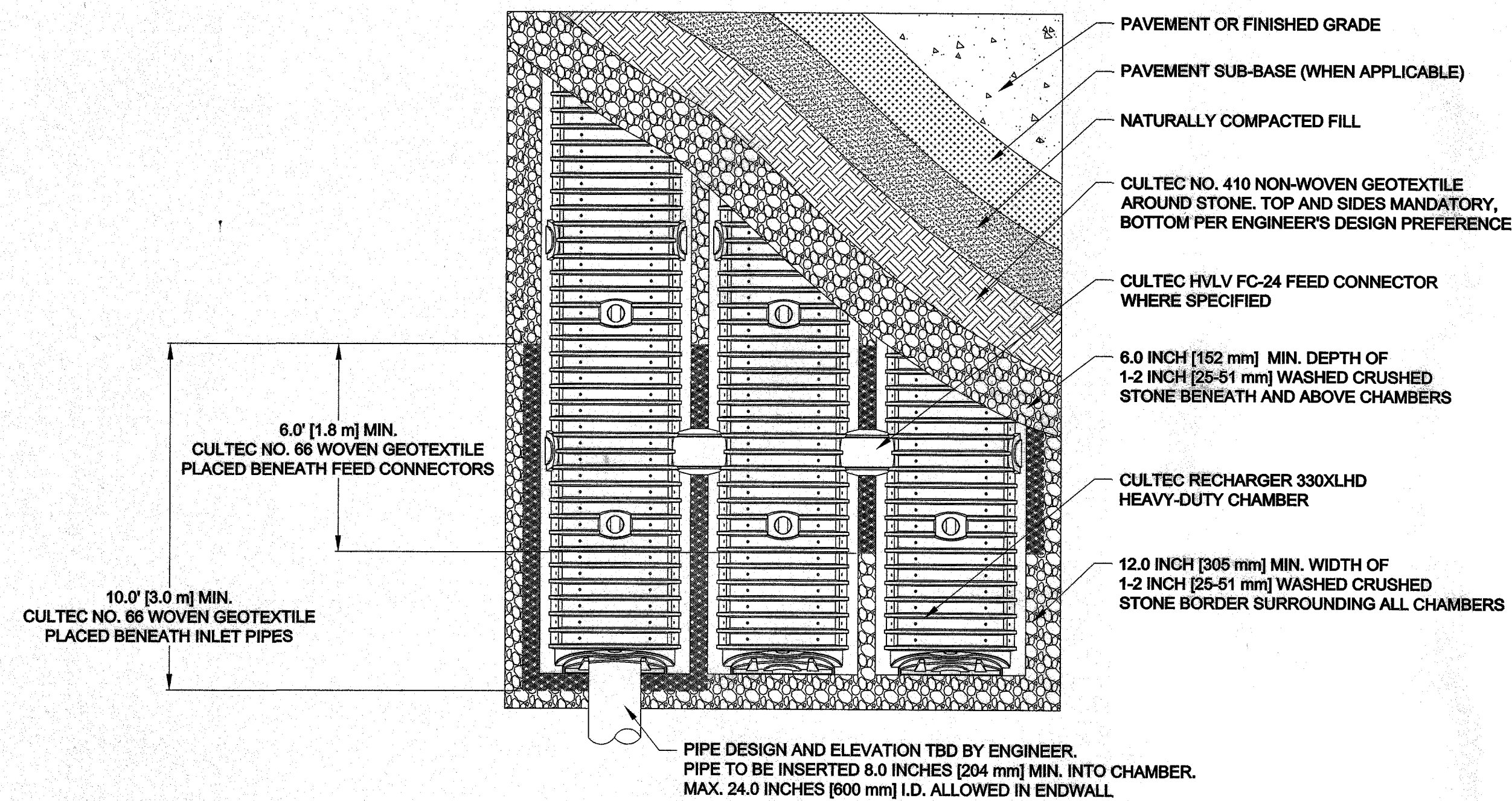
(NOT TO SCALE)



- NOTES:
1. CONCRETE: 5,000 PSI MINIMUM AFTER 28 DAYS.
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 3. TONGUE AND GROOVE JOINT SEALED WITH BUTYL RESIN. INLET HEIGHT MAY INCREASE SLIGHTLY DUE TO THE BUTYL RESIN USED.

1500 GALLON SEDIMENT AND OIL SEPARATOR

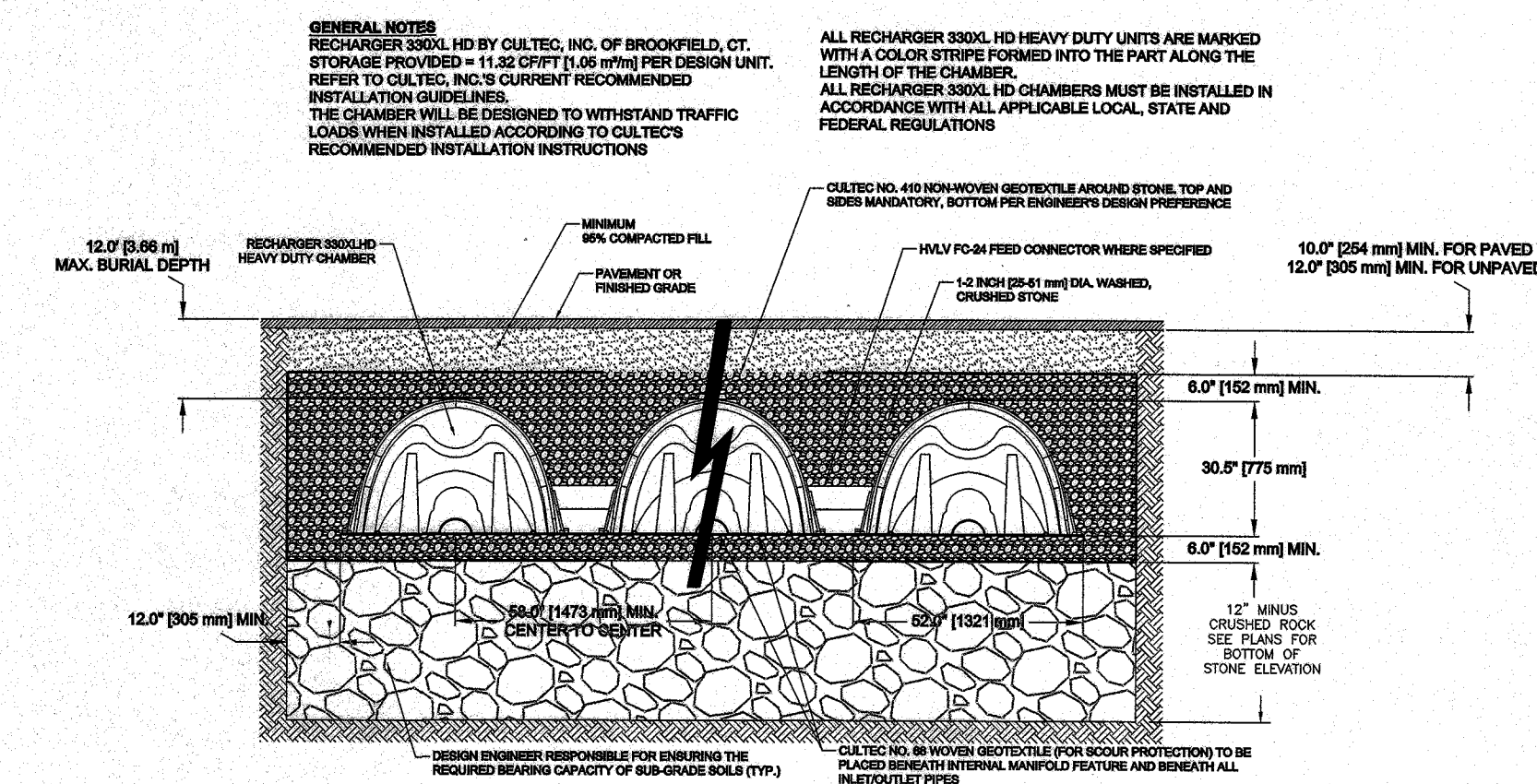
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CULTEC RECHARGER 330XLHD

PLAN VIEW

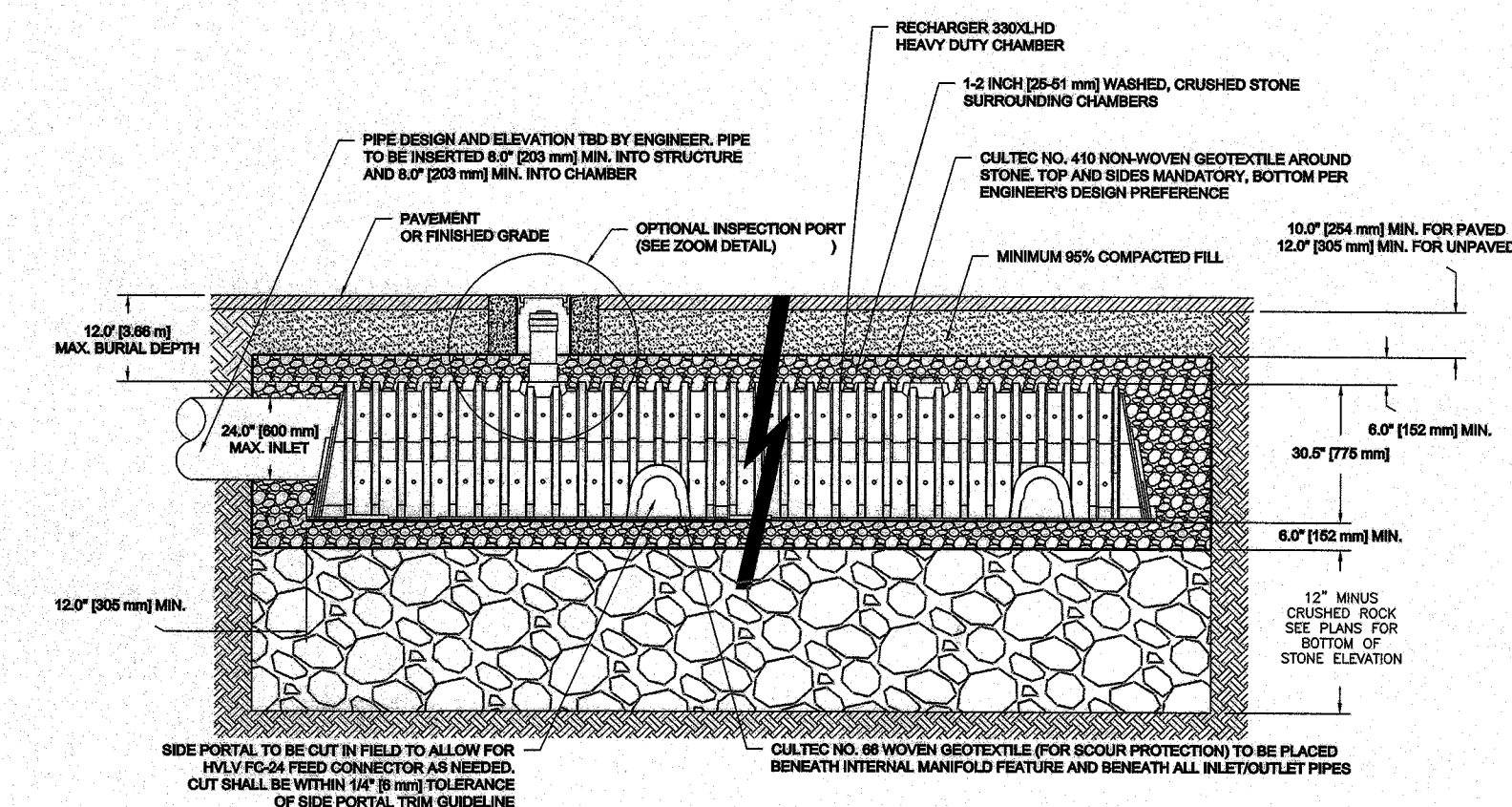
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CULTEC RECHARGER 330XLHD

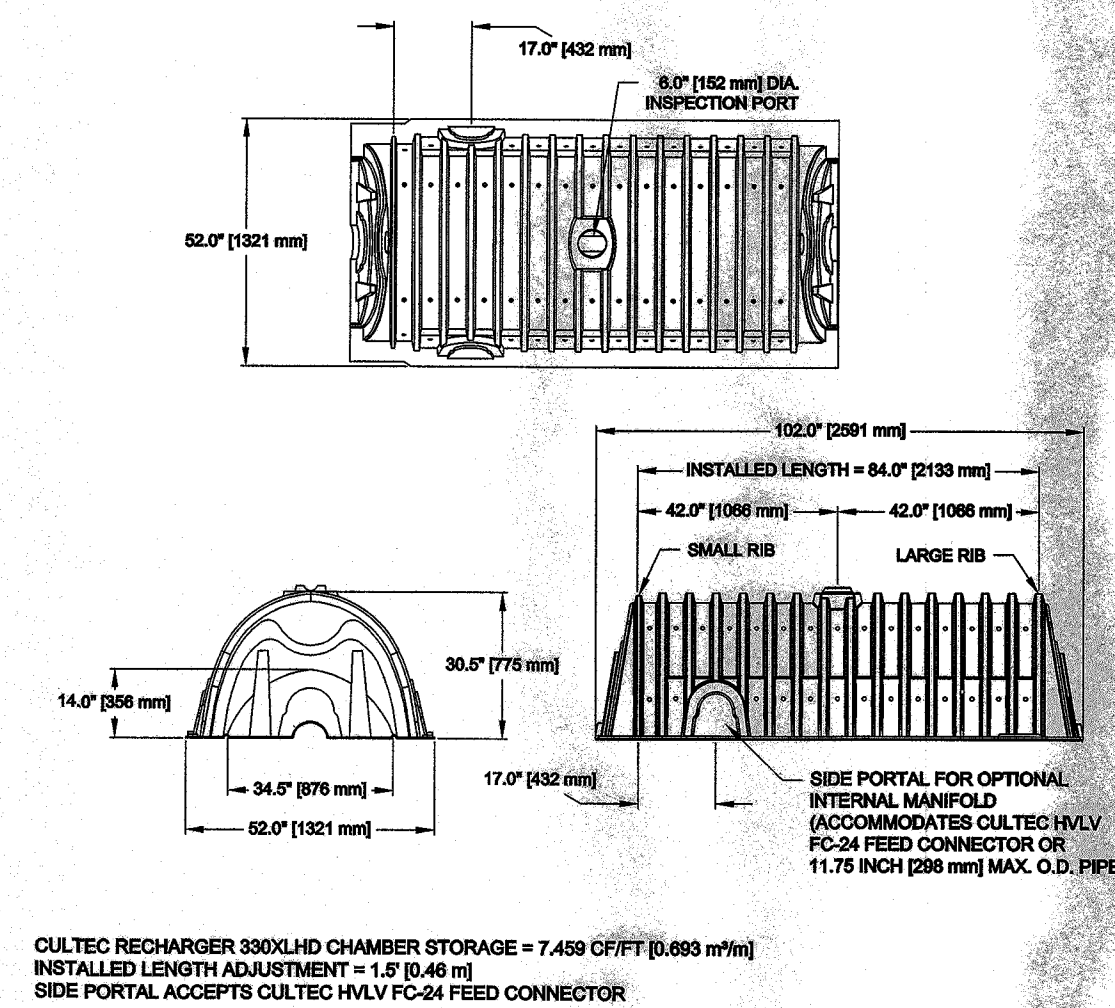
TYPICAL CROSS SECTION

(NOT TO SCALE)



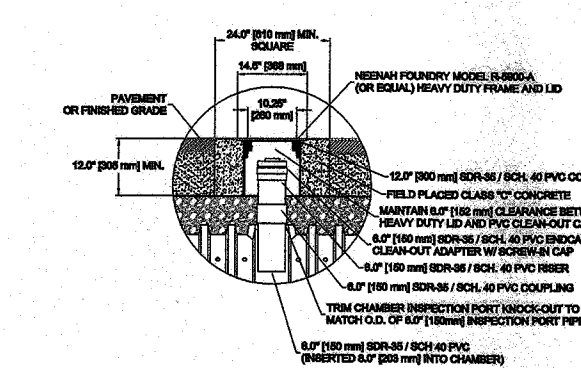
CULTEC INTERNAL MANIFOLD

(NOT TO SCALE)



CULTEC RECHARGER 330XLHD

(NOT TO SCALE)



OPTIONAL INSPECTION PORT

(NOT TO SCALE)

I CERTIFY THAT I HAVE CONFORMED WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS IN PREPARING THIS PLAN.

WILLIAMS & SPARAGES LLC

CLERKS CERTIFICATION ON THE PLAN

DATE: _____

I, _____, CLERK OF THE TOWN OF NORTH READING, DO HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE COMMUNITY PLANNING COMMISSION HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND THAT NO APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

TOWN CLERK

NORTH READING
COMMUNITY PLANNING COMMISSION

DATE: _____

NO.	DESCRIPTION	DATE
4		
3		
2		
1		

CONSTRUCTION DETAILS

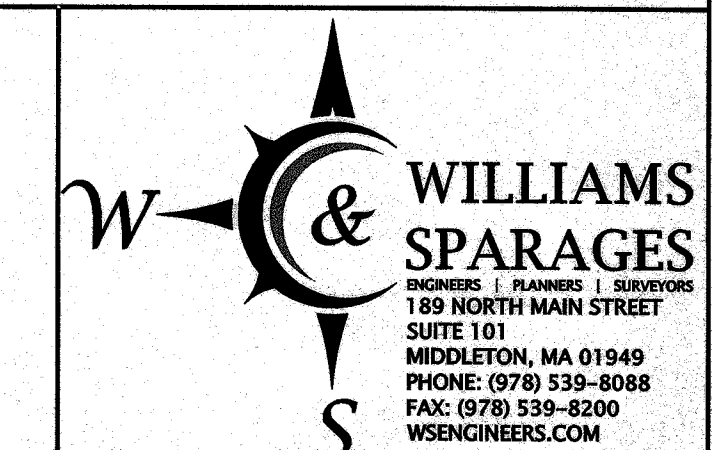
ROAD A

NORTH READING, MA

OWNER & APPLICANT:
77 ELM STREET LLC
PO BOX 548
NORTH READING, MA 01864

DEED REFERENCE:
BOOK 71352 PAGE 399

ASSESSORS REFERENCE:
MAP 78 LOT 79 & 89



SCALE: NOT TO SCALE

JANUARY 17, 2019

DETAIL SHEET 3 OF 3

SHEET 8 OF 8