

Town of North Reading Zoning Board of Appeals August 8, 2019



ELM STREET APARTMENTS
200-Unit Rental Development
20 Elm Street, North Reading, MA
Developer: NY Ventures, LLC





Elm Street Apartments North Reading ZBA August 8, 2019

Theodore C. Regnante, Esq.
Jesse D. Schomer, Esq.
Regnante Sterio LLP

Legal Counsel



ELM STREET APARTMENTS DEVELOPMENT TEAM

- ▶ Developer: Nicholas Yebba
NY Ventures LLC
- ▶ Legal Counsel: Theodore C. Regnante, Esq.
Jesse D. Schomer, Esq.
Regnante Sterio LLP
- ▶ Civil Engineering: Chris Sparages, P.E.
Greg Hochmuth, RS, PWS, CWS
Williams & Sparages LLC
- ▶ Architecture: David O'Sullivan, AIA
O'Sullivan Architects, Inc.
- ▶ 40B Consulting: Lynne D. Sweet
LDS Consulting Group, LLC
- ▶ Traffic/Safety: Jeffrey Dirk, P.E., PTOE
Vanasse & Associates, Inc.



PROJECT HISTORY



- ▶ May/June 2018: 240-Unit rental development proposed to the Town of North Reading.
- ▶ December 2018: Application filed with MassHousing for a scaled-back 200-Unit rental development.
- ▶ January 2019: Applicant revises plans to provide greater setbacks to neighbors on Lynn Street.
- ▶ March 2019: MassHousing grants site eligibility for 200-Unit rental development.
- ▶ April – July 2019: Development Team meets with Town of North Reading officials on development alternatives (re-zoning).
- ▶ July 2019: Application for 200-Unit Rental Development, as approved by MassHousing.

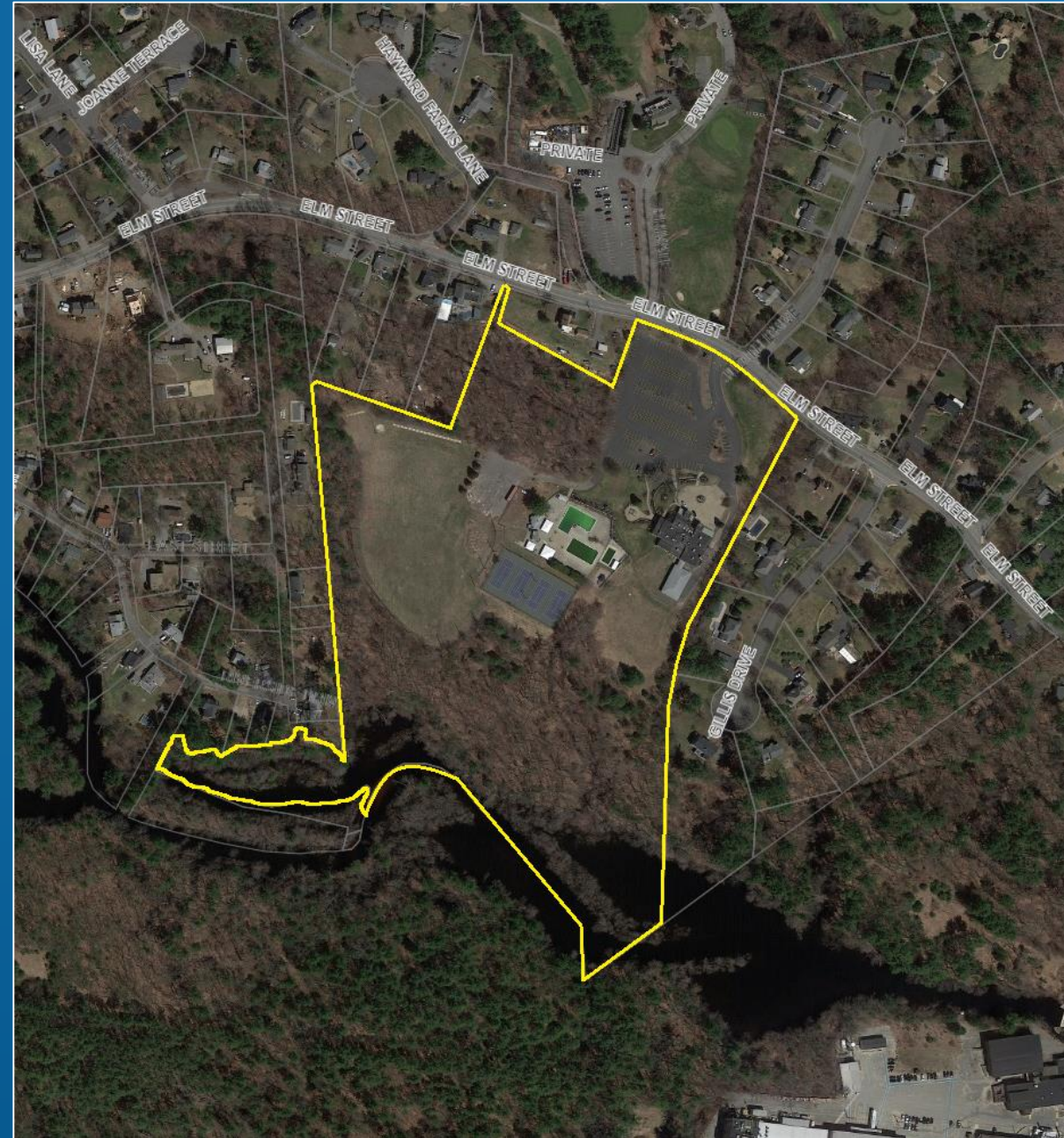
MASSHOUSING CONDITIONS OF APPROVAL

- ▶ Compliance with all state and federal environmental laws.
- ▶ Address size, scale, density, & neighborhood character.
- ▶ Consider revised architectural features to match surrounding neighborhood.
- ▶ Ensure safe vehicular and pedestrian traffic.
- ▶ Review plans with local Fire Safety Officials.
- ▶ Accessible design features.
- ▶ Address potential traffic/safety impacts.
- ▶ Incorporate energy-saving and sustainability features into project buildings and site landscaping.



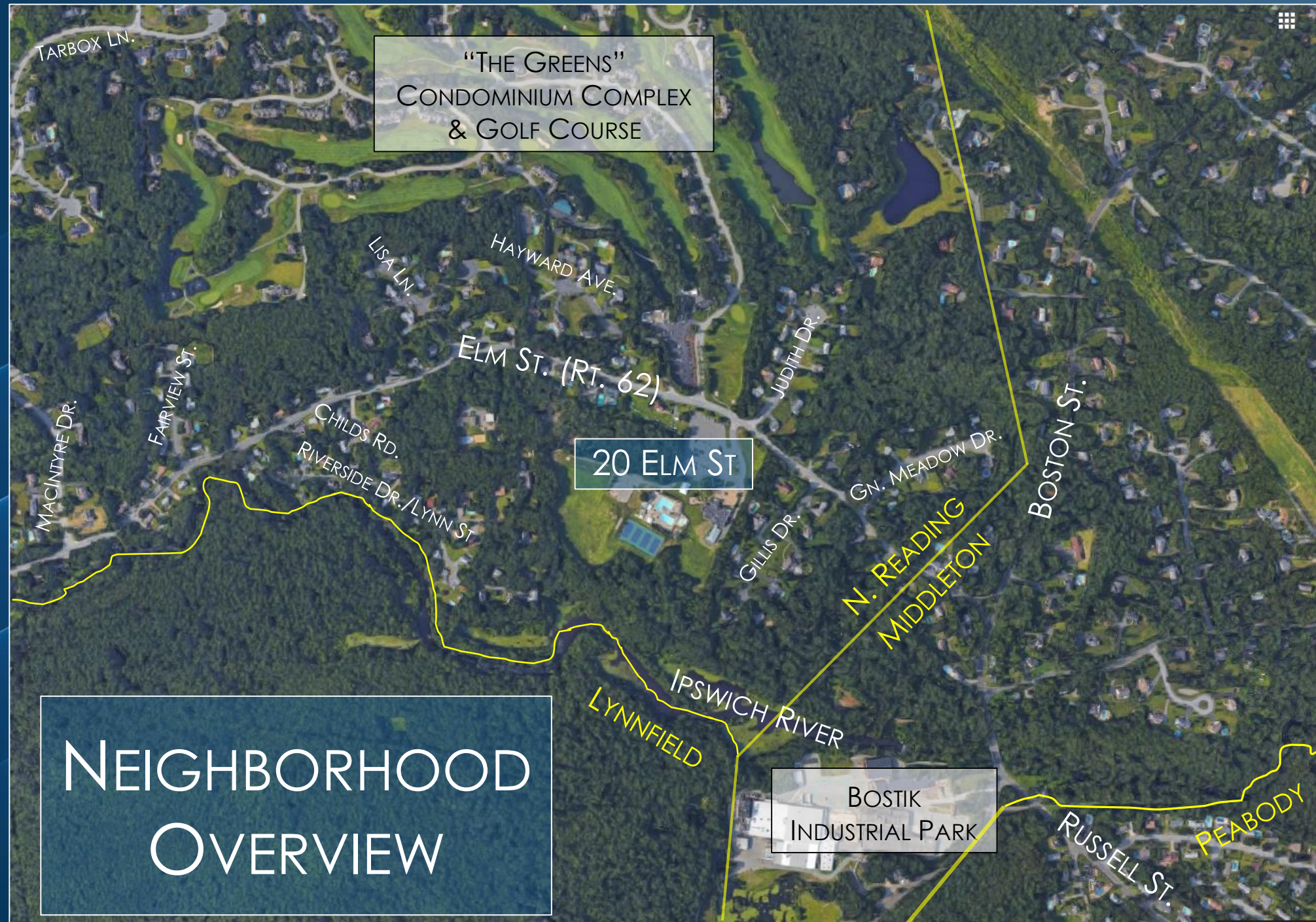
PROPERTY FACTS

- ▶ Location: 20 Elm Street (MA Rt. 62), west of the intersection of Elm St./Boston St.
- ▶ Zoning: Residence A (RA)
- ▶ Land Area: 24.2 +/- Acres
- ▶ As of Right Use: 10 single-family homes
- ▶ Present Use: Teresa's Prime Restaurant & Event Facility
Grill 19 Restaurant
Pool & Tennis Court
- ▶ History: Formerly the Thomson Club clubhouse & driving range



STREET VIEW OF 20 ELM STREET





"THE GREENS"
CONDOMINIUM COMPLEX
& GOLF COURSE

20 ELM ST

NEIGHBORHOOD OVERVIEW

BOSTIK
INDUSTRIAL PARK

20 ELM STREET AERIAL VIEW



ELM STREET APARTMENTS: PROJECT DETAILS

- Proposal: Ch. 40B development consisting of 200 rental units in 5 buildings
- Buildings: All 5 buildings will be 4 residential stories over a parking level, and will contain 40 units each
- Units:
 - 100 one-bedroom units
 - 80 two-bedroom units
 - 20 three-bedroom units (10%)



ELM STREET APARTMENTS: SITE DETAILS

- Parking: 133 garage parking spaces
+ 175 surface parking spaces
308 total parking spaces
(ratio: 1.54 spaces/unit)
- Site Access: 24-foot wide access way from Elm Street (separate from restaurant complex). Site layout will enable full access by emergency vehicles (fire, police, ambulance) and will provide a secondary emergency access road (gated).
- Utilities: Public water, electricity, natural gas, cable/internet. A Small Package Plant, designed in accordance with MassDEP's Groundwater Discharge Permit Program, will be constructed to handle Project wastewater (septic)



AFFORDABLE HOUSING IN NORTH READING

- ▶ Mass. General Laws Chapter 40B requires all Massachusetts towns and cities to have at least 10% affordable housing.
- ▶ Under Chapter 40B, the production of affordable housing overrides most local concerns, such as traffic delays, density, neighborhood character, property values, etc. Only the protection of the health and safety of occupants of the project and North Reading residents are relevant countervailing concerns.
- ▶ North Reading is currently at 9.6% affordable -- 20 units short of 10%.†
- ▶ MassHousing has determined that Elm Street Apartments and the Project site are eligible for the proposed development under Chapter 40B.
- ▶ Although North Reading is close to 10% now, after the 2020 Federal Census results are released next Spring, the total number of housing units in North Reading will be recalculated to reflect all development activity since 2010. When this happens, North Reading's total number of housing units is projected to increase significantly.‡ When this happens, the Town's affordability percentage will decline to well below 10%.
- ▶ Of the 200 total units at Elm Street Apartments, 50 units (25%) will be designated as affordable units. However, under 40B regulations, all 200 units will be eligible to be counted towards the Town's required 10%.
- ▶ If Elm Street Apartments is approved, North Reading will be at 13.2% affordable. Furthermore, North Reading would be projected to remain well above 10% affordable even after the 2020 Census – thus protecting the Town from future 40B projects for the foreseeable future.

† Source: Department of Housing and Community Development (DHCD), Subsidized Housing Inventory (SHI) (Sept. 14, 2017).

‡ Source: Metropolitan Area Planning Council (MAPC), "Municipal Projections" (Jan. 14, 2014).



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Chris Sparages, P.E.
Williams & Sparages LLC
Civil Engineering



SITE AERIAL VIEW



Elm Street Apartments
20 Elm Street, North Reading, MA

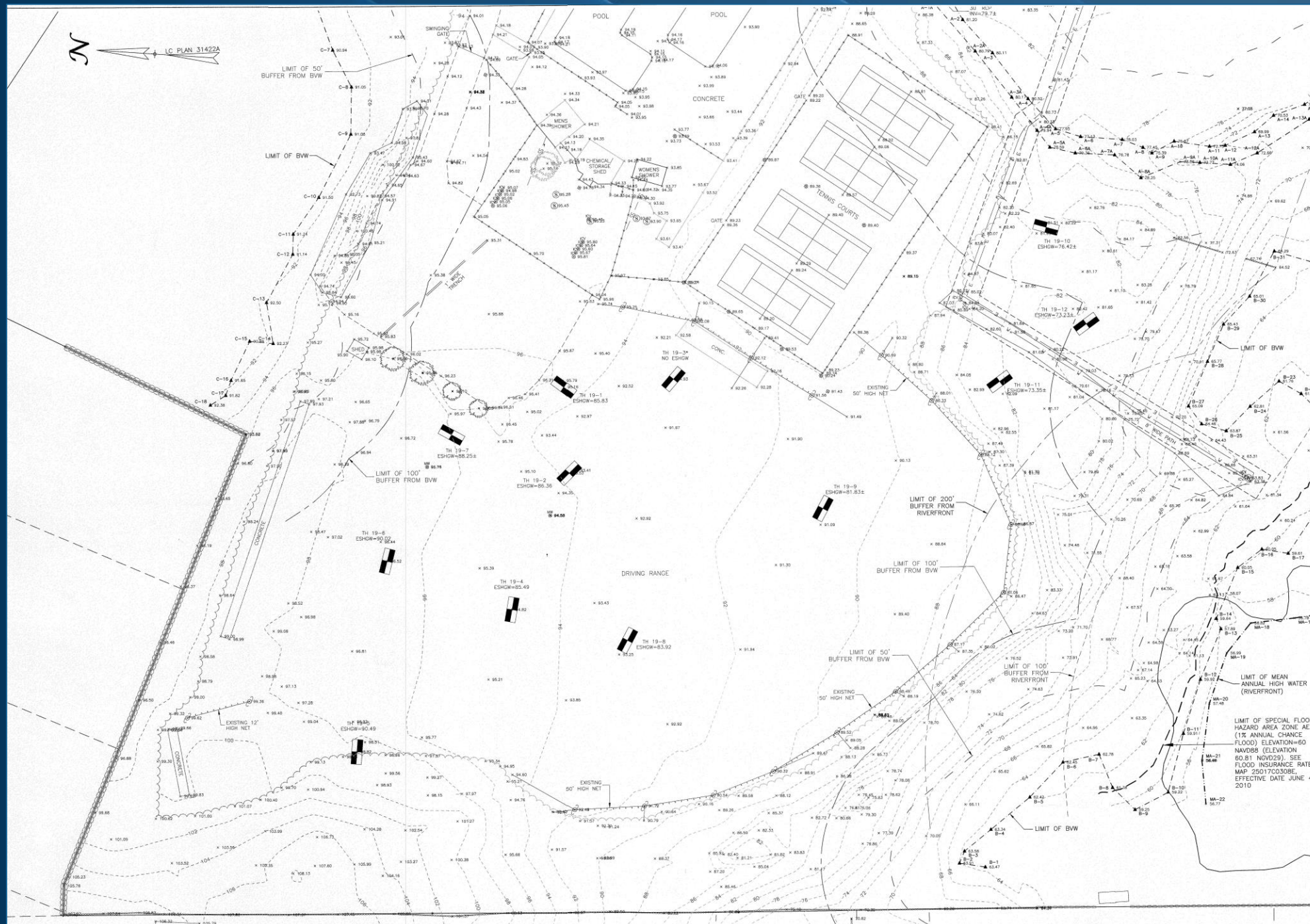
August 7, 2019

Scale: 1"=60'

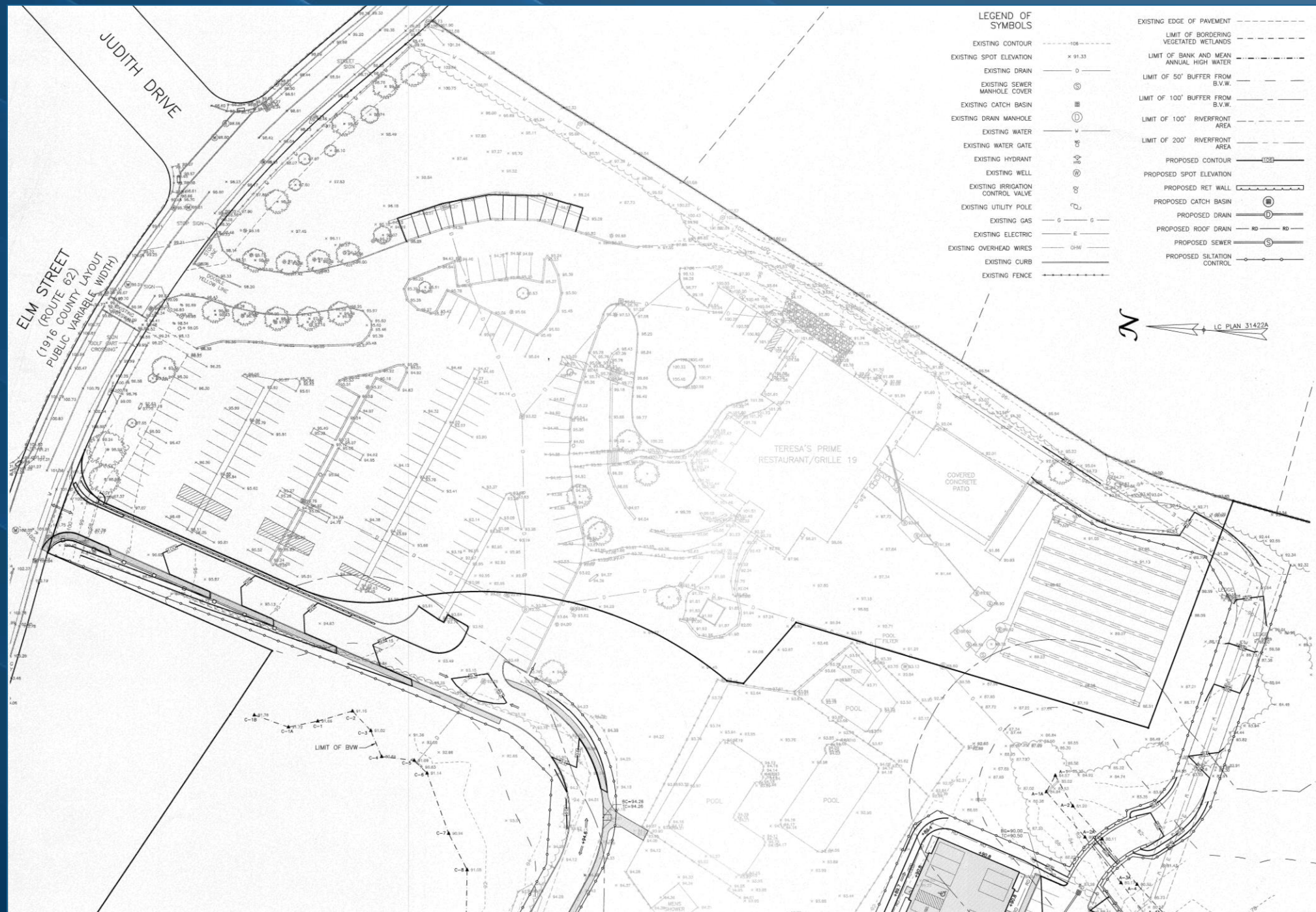
EXISTING CONDITION PLAN (1 OF 2)



EXISTING CONDITION PLAN (2 OF 2)



GRADING & DRAINAGE PLAN (1 OF 2)



[illegible]

LIMIT OF SPECIAL FLOOD
HAZARD AREA ZONE AE
(1% ANNUAL CHANCE
FLOOD) ELEVATION=60
NAVD88 (ELEVATION
60.81 NGVD29). SEE
FLOOD INSURANCE RATE
MAP 25017C0308E,
EFFECTIVE DATE JUNE 4
2010

UTILITY PLAN (1 OF 2)



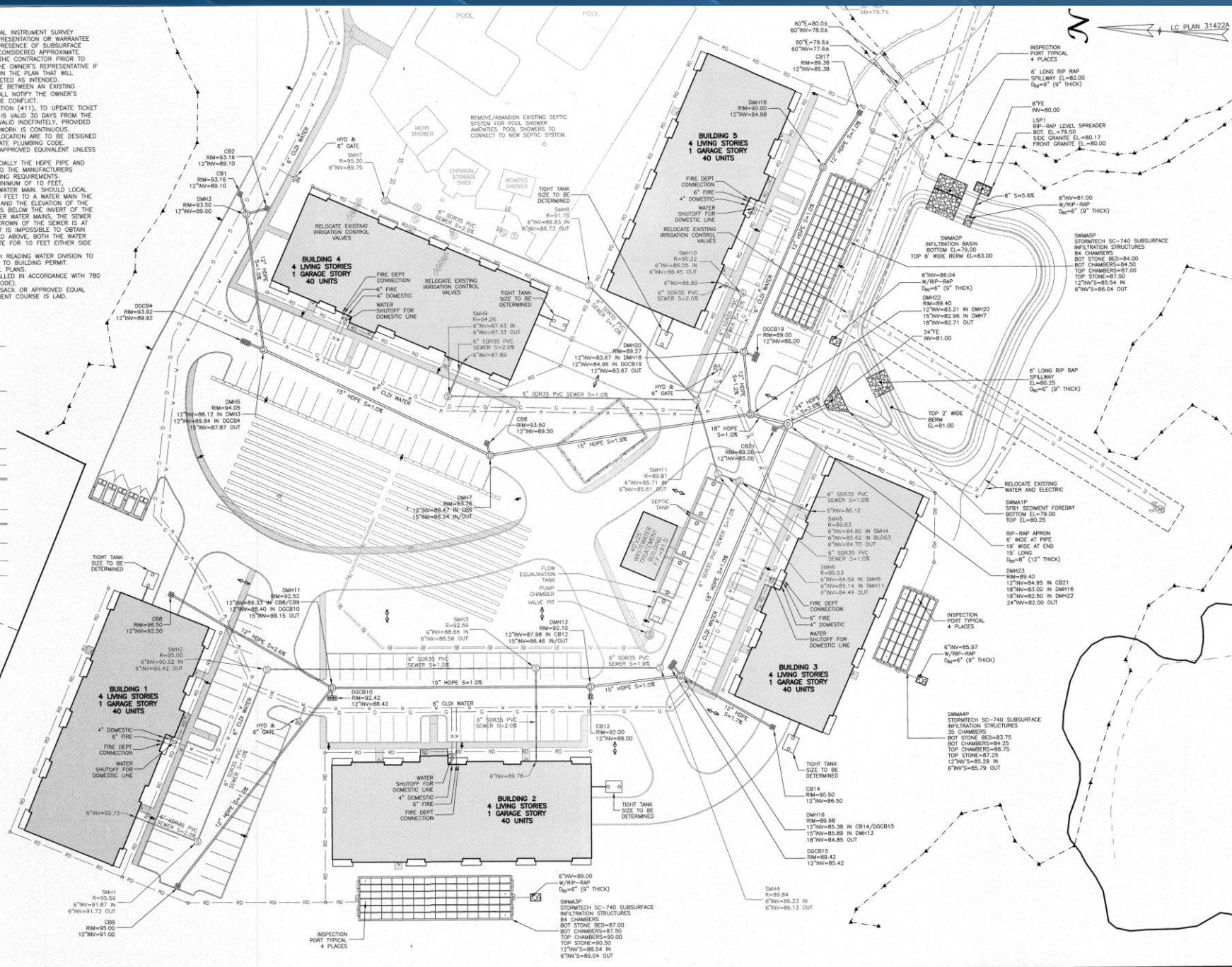
PROJECT NOTES:

1. THE UTILITIES SHOWN ARE THE RESULT OF AN ACTUAL INSTRUMENT SURVEY PERFORMED BY WILLIAMS & SPARGES LLC. NO REPRESENTATION OR WARRANTY IS MADE TO THE ACCURACY OF THE LOCATION OR PRESENCE OF SUBSURFACE UTILITIES AND THOSE UTILITIES SHOWN SHOULD BE CONSIDERED APPROXIMATE.
2. ALL UTILITIES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION AND SHALL NOTIFY THE OWNER'S REPRESENTATIVE IF EXISTING CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLAN THAT WILL PREVENT THE PROPOSED WORK FROM BEING COMPLETED AS INTENDED.
3. IF DURING CONSTRUCTION A CONFLICT SHOULD ARISE BETWEEN AN EXISTING UTILITY AND PROPOSED WORK THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE IN WRITING FOR RESOLUTION OF THE CONFLICT.
4. CONTRACTOR TO CALL DGS&F PRIOR TO CONSTRUCTION (411). TO UPDATE TICKET AND/OR VERIFY TICKET VALIDATION. DISCARD TICKET IS VALID 30 DAYS FROM THE DATE OF ISSUE. BEYOND THIS POINT, TICKETS ARE VALID INDEFINITELY, PROVIDED THAT 1) THE MARKS ARE MAINTAINED, AND 2) THE WORK IS CONTINUOUS.
5. THE PROPOSED WATER CONNECTION SIZE, TYPE & LOCATION ARE TO BE DESIGNED IN ACCORDANCE WITH 248 CMR 10.00: UNIFORM STATE PLUMBING CODE.
6. ALL PROPOSED DRAIN PIPES ARE TO BE HDPE OR APPROVED EQUIVALENT UNLESS OTHERWISE SPECIFIED.
7. THE INSTALLATION OF DRAINAGE STRUCTURES, ESPECIALLY THE HDPE PIPE AND SUBSURFACE CHAMBERS, SHALL ADHERE STRICTLY TO THE MANUFACTURER'S INSTALLATION REQUIREMENTS TO MEET AASHTO LOADING REQUIREMENTS.
8. WHENEVER FEASIBLE, SEWERS WILL BE LAID AT A MINIMUM OF 10 FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED WATER MAIN SHOULD LOCAL CONDITIONS PREVENT A LATERAL SEPARATION OF 10 FEET TO A WATER MAIN THE SEWER MAIN WILL BE LAID IN A SEPARATE TRENCH AND THE ELEVATION OF THE CROWN OF THE SEWER PLACED AT LEAST 18 INCHES BELOW THE INVERT OF THE WATER MAIN. WHENEVER SEWERS MUST CROSS UNDER WATER MAINS, THE SEWER SHALL BE LAID AT SUCH AN ELEVATION THAT THE CROWN OF THE SEWER IS AT LEAST 18 INCHES BELOW THE WATER MAIN, WHEN IT IS IMPOSSIBLE TO OBTAIN HORIZONTAL OR VERTICAL SEPARATION AS STIPULATED ABOVE, BOTH THE WATER MAIN AND SEWER SHOULD BE ENCASED IN CONCRETE FOR 10 FEET EITHER SIDE OF THE CROSSING.
9. THE APPLICANT SHALL COORDINATE WITH THE NORTH READING WATER DIVISION TO ENSURE PROPER DOMESTIC AND FIRE FLOWS PRIOR TO BUILDING PERMIT.
10. VERIFY ROOF DRAIN LOCATIONS WITH ARCHITECTURAL PLANS.
11. THE FOUNDATION PERIMETER DRAIN SHALL BE INSTALLED IN ACCORDANCE WITH 780 CMR 5405 (THE MASSACHUSETTS STATE BUILDING CODE).
12. PROPOSED CATCH BASINS TO BE FITTED WITH SILT SACK OR APPROVED EQUIV. WHEN INSTALLED AND REMOVED AFTER FINAL PAVEMENT COURSE IS LAID.

LEGEND OF SYMBOLS

EXISTING DRAIN	D
EXISTING CATCH BASIN	III
EXISTING DRAIN MANHOLE	D
EXISTING WATER	W
EXISTING WATER GATE	WG
EXISTING HYDRANT	HYD
EXISTING UTILITY POLE	UTL
EXISTING OVERHEAD WIRES	OWR
EXISTING ELECTRIC	E
PROPOSED DRAIN	D
PROPOSED CATCH BASIN	III
PROPOSED ROOF DRAIN	RD
PROPOSED SEWER	S
PROPOSED SEWER FORCEMAIN	FW
PROPOSED WATER	W
PROPOSED GAS	G

UTILITY PLAN (2 OF 2)



JUDITH DRIVE

ELM STREET (ROUTE 62)
(1916 COUNTY LAYOUT
PUBLIC VARIABLE WIDTH)

14 PROPOSED SPACES

TERESA'S PRIME
RESTAURANT/GRILLE 19

COVERED CONCRETE PATIO

POOL

TENNIS

20' WIDE PAVED EMERGENCY ACCESS

END RETAINING WALL

4' WALK

END GUARDRAIL

SNOW STORAGE

POOL FILTER

LEDGE

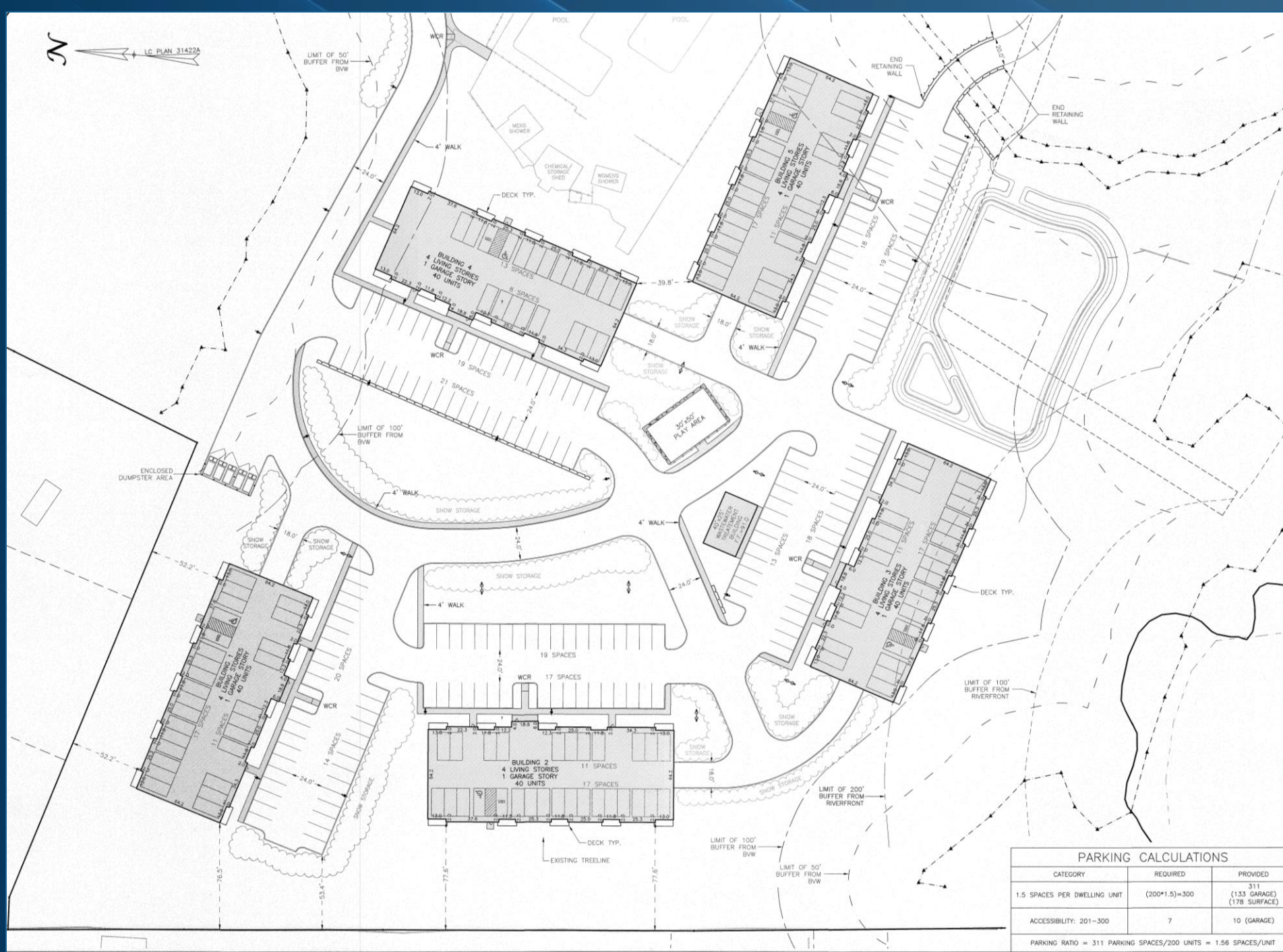
END RETAINING WALL

END RETAINING WALL



END RETAINING WALL

LC PLAN 31422A

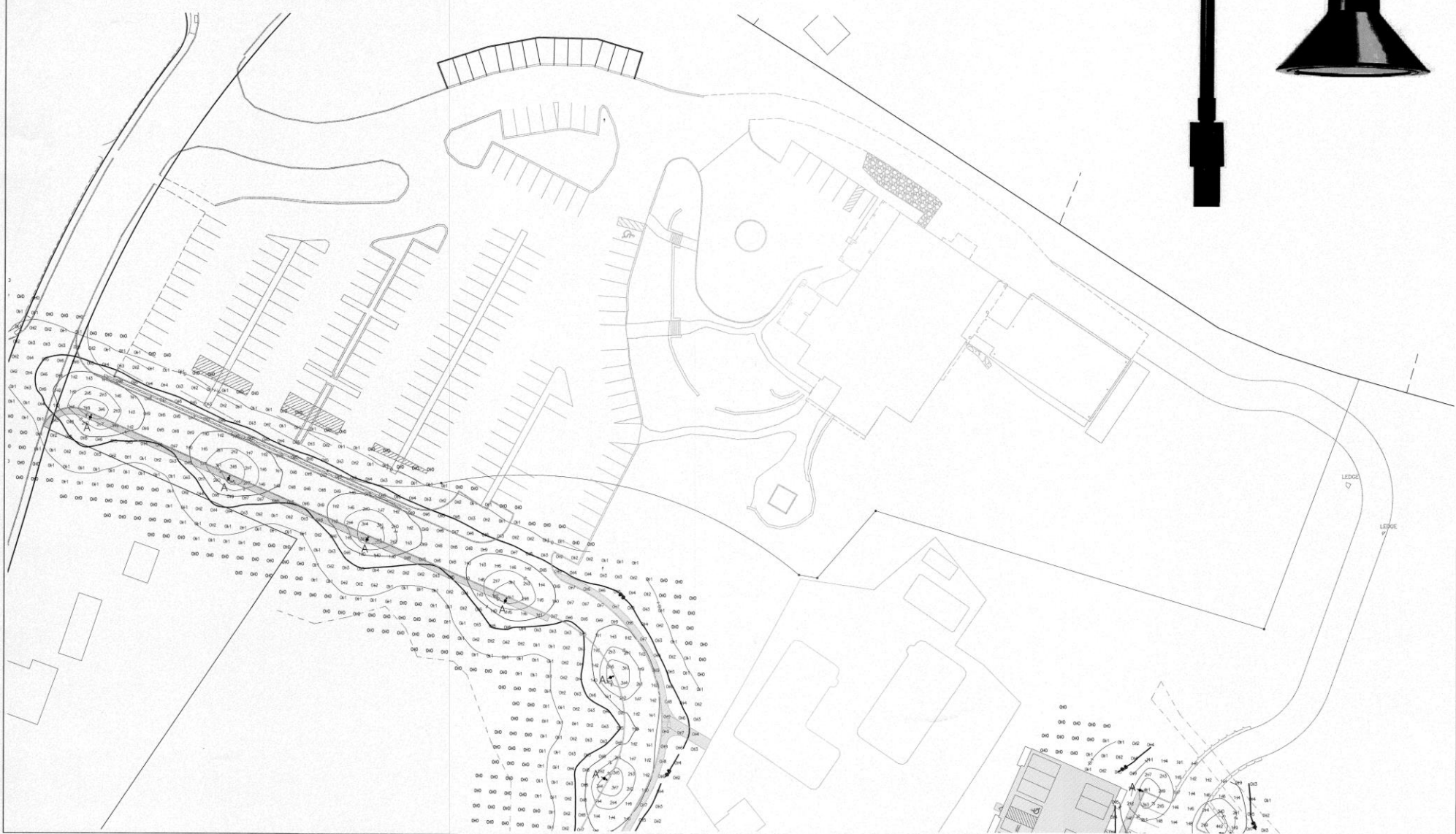
LAYOUT PLAN (2 OF 2)



LIGHTING PLAN (1 OF 2)

LUMINAIRE SCHEDULE								
SYMBOL	LABEL	QUANTITY	CATALOG NUMBER HADC0	DESCRIPTION	LAMP	TILT	LLF	CANDELA FILE
	A	32	PIMA SERIES LED CXFxx64-02-3W3-H-16 (FINISH & ELECTRICAL TO BE SPECIFIED BY OTHERS)	TYPE III OPTICS 15' MOUNTING HEIGHT	3000K 6456 LUMENS PER LAMP	0°	1.00	CXFxx64-02-3W3-16ies
	B	5	PIMA SERIES LED CXFxx64-02-5W3-16 (FINISH & ELECTRICAL TO BE SPECIFIED BY OTHERS)	TYPE V OPTICS TWIN 180° 15' MOUNTING HEIGHT	3000K 6118 LUMENS PER LAMP	0°	1.00	CXFxx64-02-5W3-16ies

- NOTES:
- SECURITY LIGHTING TO BE DETERMINED.
 - ILLUMINANCE VALUES CREATED FROM MANUFACTURERS PHOTOMETRIC DATA.
 - ILLUMINANCE VALUES SHOWN REPRESENT MAINTAINED HORIZONTAL FOOTCANDLES AT GROUND LEVEL.
 - FOOT CANDLE VALUES SHOWN DO NOT ACCOUNT FOR LIGHT REFLECTION, EXISTING LIGHT SOURCES, SLOPING GRADE OR EXISTING OR PROPOSED THREE DIMENSIONAL OBJECTS.
- Parking Area
2804 points at z=0, sp 10ft by 10ft
HORIZONTAL FOOTCANDLES
Average 4.3
Maximum 0.0
Minimum N/A
Avg Min N/A
Max Min N/A
Coef Var 0.92
Uniformity N/A



LIGHTING PLAN (2 OF 2)



PLANT SCHEDULE

SHRUB TREES					
SYMBOL	QUANTITY	LATIN NAME	COMMON NAME	PLANTING SIZE	NOTES
SKL	6	GLEDITSIA TRIACANTHOS "SKYLINE"	SKYLINE HONEYLOCUST	3" CAL	B&B, 6' CLEAR BRANCHING
RSM	3	ACER RUBRUM "RED SUNSET"	RED SUNSET MAPLE	3" CAL	B&B, 6' CLEAR BRANCHING
POK	3	QUERCUS PALustris	PIN OAK	3" CAL	B&B, 6' CLEAR BRANCHING
SOX	3	QUERCUS COCCINEA	SCARLET OAK	3" CAL	B&B, 6' CLEAR BRANCHING
BTQ	1	NYSSA SYRIACA	BLACK TUPERO	3" CAL	B&B, 6' CLEAR BRANCHING
LPT	3	PLATANUS X ACERIFOLIA	LONDON PLANE TREE	3" CAL	B&B, 6' CLEAR BRANCHING
CEM	2	ULMUS PARVIFOLIA	CHINESE ELM	3" CAL	B&B, 6' CLEAR BRANCHING
AEM	3	ULMUS AMERICANA	AMERICAN ELM	3" CAL	B&B, 6' CLEAR BRANCHING
ORNAMENTAL TREES					
SYMBOL	QUANTITY	LATIN NAME	COMMON NAME	PLANTING SIZE	NOTES
NSM	1	BETULA NIGRA	RIVER BIRCH	10"-12" TALL	B&B, MULTI STEM
SBY	750	AMELANCHIER X GRANDIFLORA	SERVICEBERRY	8"-10" TALL	B&B, MULTI STEM
ERB	750	CERCIS CANADENSIS	EASTERN REDBUD	8"-10" TALL	B&B, SINGLE/MULTI STEM
SMA	750	MAGNOLIA STELLATA	STAR MAGNOLIA	6"-10" TALL	B&B, SPECIMEN
JFC	750	HYDRUNGS KANZAN	JAPANESE FLOWERING CHERRY	6"-10" TALL	B&B, SPECIMEN
DECIDUOUS TREES					
SYMBOL	QUANTITY	LATIN NAME	COMMON NAME	PLANTING SIZE	NOTES
WFR	750	ABIES CONCOLOR	WHITE FIR	8"-10" TALL	
LWP	750	PINUS STROBUS	EASTERN WHITE PINE	6"-10" TALL	
DFR	750	PSEUDOTSUGA MENZIESII	DOUGLAS FIR	10"-12" TALL	
CSR	750	PICEA OMORICA	SERBIAN SPRUCE	10"-12" TALL	
SHRUBS					
SYMBOL	QUANTITY	LATIN NAME	COMMON NAME	PLANTING SIZE	NOTES
RTD	750	CORNUS SERICEA "ARTIC FIRE"	RED TWIG DOGWOOD	3.5" TALL	B&B, PLANT 36" O.C.
INX	750	ILEX GLAUBA	INKBERRY	3" TALL	B&B, PLANT 36" O.C.
DFD	750	FOTHERGILLA GARDENII	DWARF FOTHERGILLA	3.5" TALL	B&B, PLANT 36" O.C.
CLS	750	RHUS ARNICA	CRAIG-LOW SUMAC	3" CAL	B&B, PLANT 36" O.C.
OHG	750	HYDRANGEA QUERCIFOLIA	OAKLEAF HYDRANGEA	3" CAL	B&B, PLANT 36" O.C.
WBY	750	ILEX VERTICILLATA	WINTERBERRY	3" TALL	B&B, PLANT 36" O.C.
HYW	750	TAXUS X MEDIA "HICKSII"	HICKS YEW	5 GALLON	B&B, PLANT 36" O.C.
PERENNIALS					
SYMBOL	QUANTITY	LATIN NAME	COMMON NAME	PLANTING SIZE	NOTES
PSF	750	ECHEINACEA PURPUREA	PURPLE CONEFLOWER	1 GALLON	PLANT 18" O.C.
VHM	750	RUDEBECKIA FULGIDA "GOLDSTROM"	BLACK-EYED SUSAN	1 GALLON	PLANT 18" O.C.
HRD	750	PEROVSKIA ATR "LITTLE SPIRE"	RUSSIAN SAGE	1 GALLON	PLANT 18" O.C.
ORNAMENTAL GRASS					
SYMBOL	QUANTITY	LATIN NAME	COMMON NAME	PLANTING SIZE	NOTES
SGR	750	PANICUM VIRGATUM "SHE-MANDAW"	SWITCH GRASS	2 GALLON	PLANT 36" O.C.
LBS	750	SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM	2 GALLON	PLANT 36" O.C.
FOR	750	PENNISETUM ALOPECUROIDES	FOUNTAIN GRASS	2 GALLON	PLANT 24" O.C.



1. DURING CONSTRUCTION, CONTRACTOR SHALL PROTECT AND SAVE ALL VEGETATION BEYOND THE LIMIT OF GRADING ACTIVITIES.
2. ALL PROPOSED PLANTINGS SHALL BE ADJUSTED TO ACCOMMODATE UNDERGROUND UTILITIES.
3. ALL PLANTING METHODS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE AMERICAN ASSOCIATION OF NURSERMEN.
4. IN THE EVENT OF DISCREPANCIES BETWEEN THE QUANTITIES OF PLANTS IN THE PLANT LIST AND THE DRAWINGS, THE DISCREPANCY SHALL BE IN FAVOR OF THE PLANT LIST.
5. ALL TREES AND SHRUBS SHALL BE NURSERY GROWN WITHIN THE PLANT HARDINESS ZONE WHICH IS THE SAME AS THE COLDER ZONE OF THE PROJECT LOCATION.
6. ALL PLANTS 3' OR GREATER IN HEIGHT OR SPREAD TO BE BALLED AND BURLAPED.
7. ALL TREES AND SHRUBS SHALL BE BALLED AND BURLAPED. ALL PLANT MATERIAL SHALL BE FREE FROM STONES LARGER THAN 1" AND NOXIOUS MATERIALS.
8. ALL PLANT SHALL BE WATERED IMMEDIATELY AFTER PLANTING.
9. ALL PROPOSED PLANTINGS SHALL BE PLANTED WITHIN ONE AND ONE HALF (1 1/2) FEET OF THE BEGINNING AND ENDING POINTS OF GRASS AND MULCH TO BE DETERMINED IN FIELD WITH OWNER AUTHORIZATION.
10. POSITIVE DRAINAGE SHALL BE MAINTAINED AROUND AND AROUND BUILDING PER BUILDING CODE.
11. WORK IS TO COMPLY TO ORDER OF CONDITIONS ISSUED FOR PROJECT. SEE CONDITIONS PRIOR TO LANDSCAPE WORK.
12. CONTRACTOR TO PROVIDE TWO YEAR GUARANTEE ON ALL PLANTING MATERIAL.
13. NO PLANTING PRIOR TO APPROVAL OF FINISHED GRADING.
14. PROVIDE SOIL DEPTH ACCORDING TO CONSTRUCTION DETAILS FOR TREES.
15. PROVIDE 18" SOIL DEPTH FOR ALL SHRUBS AND PERENNIALS.
16. PROVIDE 6" SOIL DEPTH FOR ALL GROUNDCOVER.
17. PROVIDE 6" SOIL DEPTH FOR ALL SOD/SEED.

1. STOCKPILING OF SNOW AT DRIVEWAY/DRIVEWAY AND DRIVEWAY/STREET INTERSECTIONS SHALL NOT EXCEED 3 FEET IN HEIGHT.

LANDSCAPE PLAN (2 OF 2)



Elm Street Apartments North Reading ZBA August 8, 2019

David O'Sullivan, AIA
O'Sullivan Architects, Inc.

Architecture/Design



SITE AERIAL VIEW

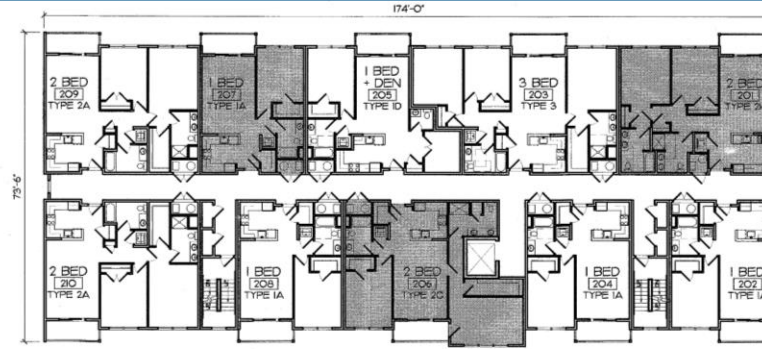


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20 Elm Street, North Reading, MA

August 8, 2019

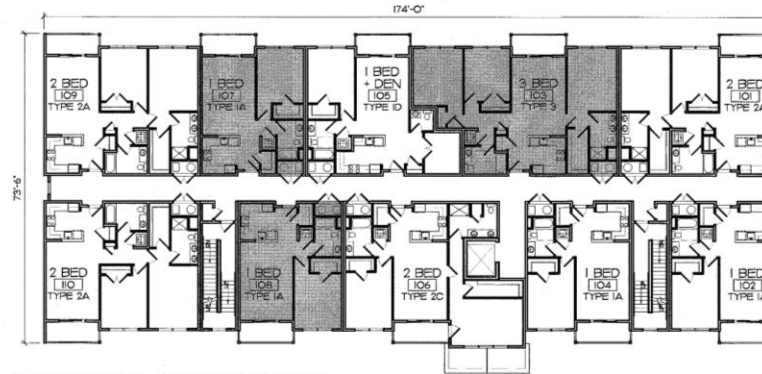
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BUILDING 1 LAYOUT



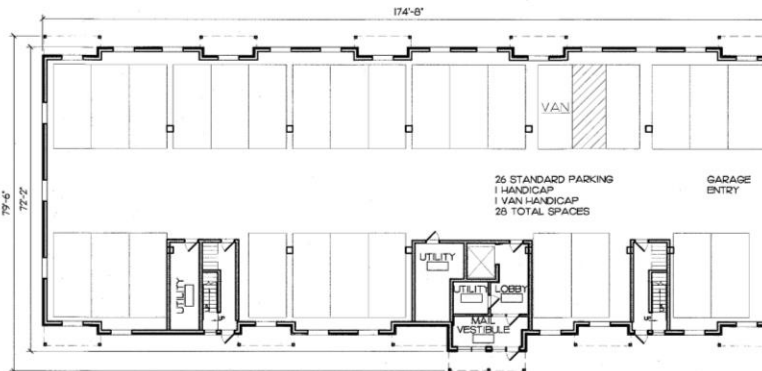
2 BUILDING 1 - SECOND FLOOR PLAN

Scale: 1/16" = 1'-0"



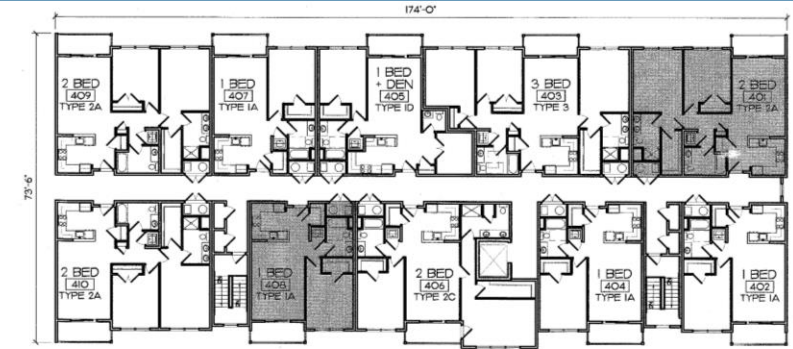
1 BUILDING 1 - FIRST FLOOR PLAN

Scale: 1/16" = 1'-0"



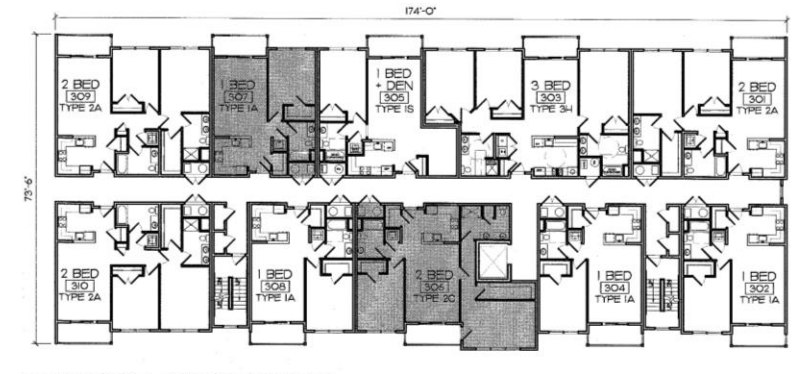
0 BUILDING 1 - GARAGE/GROUND LEVEL PLAN

Scale: 1/16" = 1'-0"



4 BUILDING 1 - FOURTH FLOOR PLAN

Scale: 1/16" = 1'-0"



3 BUILDING 1 - THIRD FLOOR PLAN

Scale: 1/16" = 1'-0"

BUILDING 1	1ST FL.	2ND FL.	3RD FL.	4TH FL.	TOTAL		
ONE BEDROOM (1A)	3	4	4	4	15	1 BR	1 BEDROOM UNITS 501
ONE BEDROOM + DEN (1D)	1	1	0	1	3	1 BR + DEN	
ONE BEDROOM + DEN SMALL (1S)	0	0	1	0	1	1 BR + DEN SM	
ONE BEDROOM HOP (1H)	1	0	0	0	1	1 BR HOP	
TWO BEDROOM (2A)	3	2	3	3	11	2 BR (2A)	2 BEDROOM UNITS 401
TWO BEDROOM (2C)	1	1	1	1	4	2 BR (2C)	
TWO BEDROOM HOP (2H)	0	1	0	0	1	2 BR HOP	
THREE BEDROOM (3)	1	1	0	1	3	3 BR	3 BEDROOM UNITS 101
THREE BEDROOM HOP (3H)	0	0	1	0	1	3 BR HOP	
TOTAL	10	10	10	10	40 UNITS		

UNIT BREAKDOWN - BUILDING 1

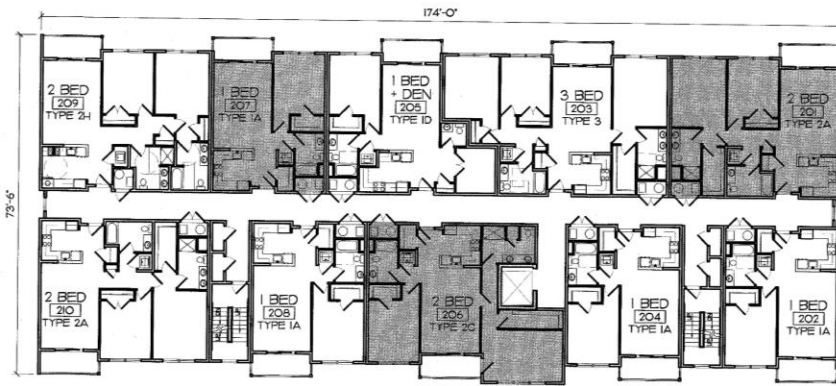
ENTIRE PROJECT	BLDG. 1	BLDG. 2	BLDG. 3	BLDG. 4	BLDG. 5	TOTAL		
ONE BEDROOM (1A)	15	15	15	15	15	75	1 BR	1 BEDROOM 100 UNITS 501
ONE BEDROOM + DEN (1D)	3	3	3	3	3	15	1 BR + DEN	
ONE BEDROOM + DEN SMALL (1S)	1	1	1	1	1	5	1 BR + DEN SM	
ONE BEDROOM HOP (1H)	1	1	1	1	1	5	1 BR HOP	
TWO BEDROOM (2A)	11	11	11	11	11	55	2 BR (2A)	2 BEDROOM 80 UNITS 401
TWO BEDROOM (2C)	4	4	4	4	4	20	2 BR (2C)	
TWO BEDROOM HOP (2H)	1	1	1	1	1	5	2 BR HOP	
THREE BEDROOM (3)	3	3	3	3	3	15	3 BR	3 BEDROOM 20 UNITS 101
THREE BEDROOM HOP (3H)	1	1	1	1	1	5	3 BR HOP	
TOTAL	40 UNITS	40 UNITS	40 UNITS	40 UNITS	40 UNITS	200 UNITS		

UNIT BREAKDOWN - ENTIRE PROJECT

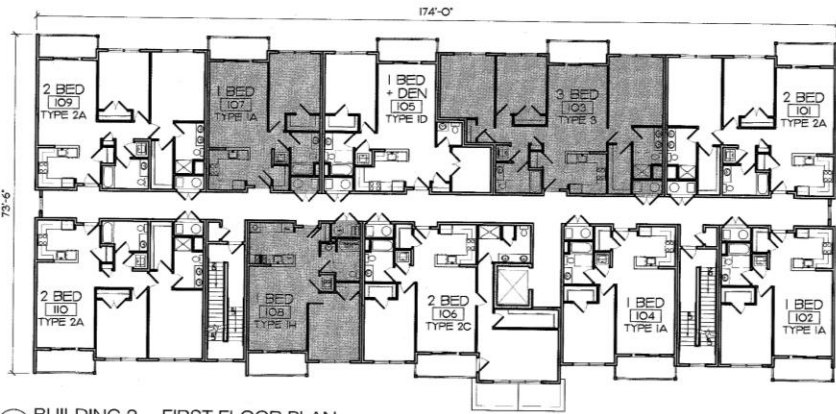


AFFORDABLE UNIT DESIGNATION

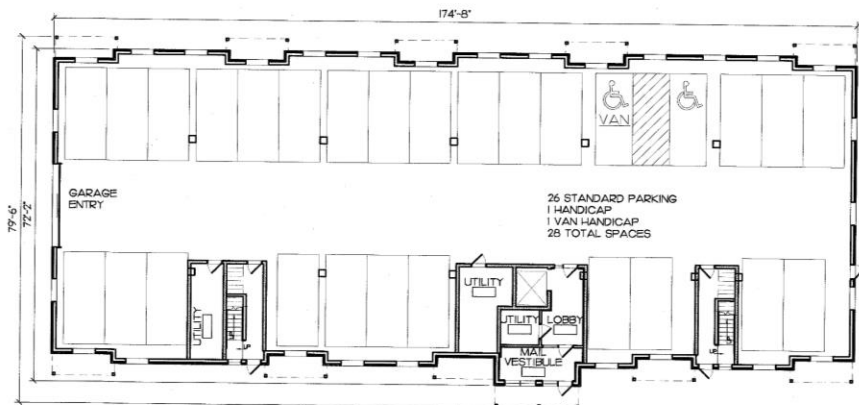
BUILDING 2 LAYOUT



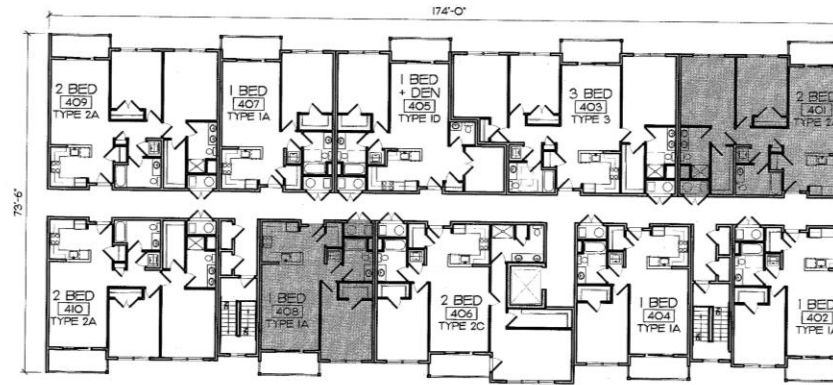
2 BUILDING 2 - SECOND FLOOR PLAN
Scale: 1/16" = 1'-0"



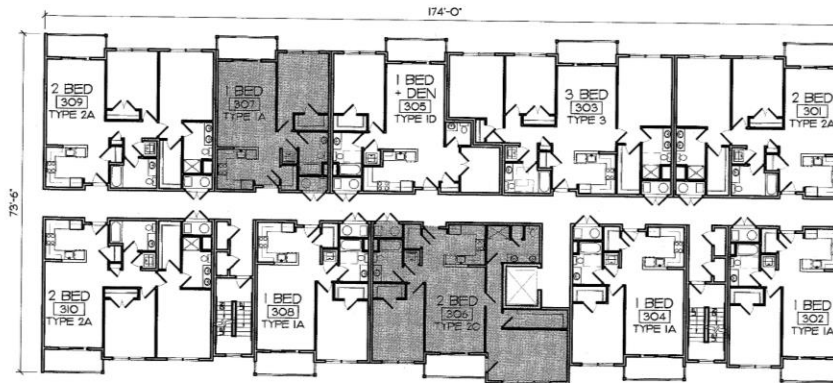
1 BUILDING 2 - FIRST FLOOR PLAN
Scale: 1/16" = 1'-0"



0 BUILDING 2 - GARAGE/GROUND LEVEL PLAN
Scale: 1/16" = 1'-0"



4 BUILDING 2 - FOURTH FLOOR PLAN
Scale: 1/16" = 1'-0"



3 BUILDING 2 - THIRD FLOOR PLAN
Scale: 1/16" = 1'-0"

BUILDING 2	1ST FL.	2ND FL.	3RD FL.	4TH FL.	TOTAL		
ONE BEDROOM (1A)	3	4	4	4	15	1 BR	1 BEDROOM UNITS 501
ONE BEDROOM + DEN (1D)	1	1	0	1	3	1 BR + DEN	
ONE BEDROOM + DEN SMALL (1S)	0	0	1	0	1	1 BR + DEN SM	
ONE BEDROOM HCP (1H)	1	0	0	0	1	1 BR HCP	
TWO BEDROOM (2A)	3	2	3	3	11	2 BR (2A)	2 BEDROOM UNITS 401
TWO BEDROOM (2C)	1	1	1	1	4	2 BR (2C)	
TWO BEDROOM HCP (2H)	0	1	0	0	1	2 BR HCP	
THREE BEDROOM (3)	1	1	0	1	3	3 BR	3 BEDROOM UNITS 101
THREE BEDROOM HCP (3H)	0	0	1	0	1	3 BR HCP	
TOTAL	10	10	10	10	40 UNITS		

UNIT BREAKDOWN - BUILDING 2



AFFORDABLE
UNIT DESIGNATION

174'-0"

73'-6"

2 BED [202] TYPE 2A

1 BED [101] TYPE 1A

1 BED + DEN [203] TYPE 1D

3 BED [203] TYPE 3

2 BED [201] TYPE 2A

2 BED [210] TYPE 2A

1 BED [106] TYPE 1A

2 BED [206] TYPE 2C

1 BED [204] TYPE 1A

1 BED [202] TYPE 1A

174'-0"

75'-6"

2 BED 109 TYPE 2A

1 BED 107 TYPE 1A

1 BED 108 TYPE 1A

2 BED 110 TYPE 2A

1 BED 104 TYPE 1A

2 BED 106 TYPE 2C

1 BED 102 TYPE 1A

1 BED 103 TYPE 3

2 BED 105 TYPE 2B

1 BED 101 TYPE 2A

1 BED 102 TYPE 1A

174'-6"

79'-6"

26 STANDARD PARKING
1 HANDICAP
1 VAN HANDICAP
28 TOTAL SPACES

UTILITY

UTILITY LOBBY

MAIN VESTIBULE

GARAGE ENTRY

VAN

73'-6"

174'-0"

2 BED [409] TYPE 2A

1 BED [407] TYPE 1A

1 BED + DEN [405] TYPE 1D

3 BED [403] TYPE 3

2 BED [401] TYPE 2A

2 BED [410] TYPE 2A

1 BED [408] TYPE 1A

2 BED [406] TYPE 2C

1 BED [404] TYPE 1A

1 BED [402] TYPE 1A

CORRIDOR

STAIRS

174'-0"

73'-6"

2 BED [309] TYPE 2A

1 BED [307] TYPE 1A

1 BED + DEN [308] TYPE 1D

3 BED [303] TYPE 3

2 BED [301] TYPE 2A

2 BED [301] TYPE 2A

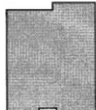
1 BED [308] TYPE 1A

2 BED [306] TYPE 2C


1 BED [304] TYPE 1A

1 BED [302] TYPE 1A

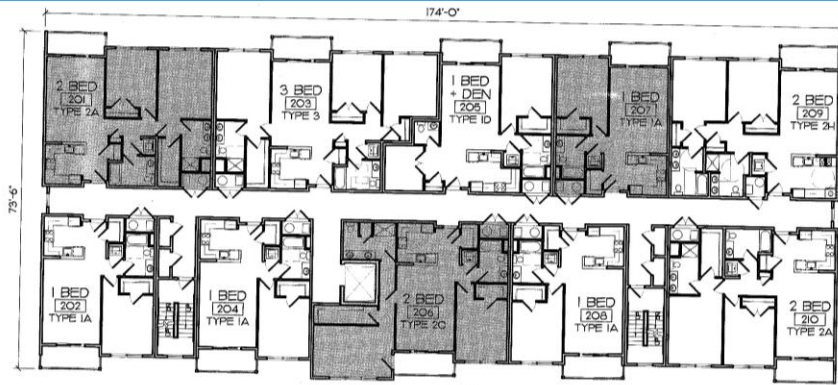
BUILDING 3	1ST FL.	2ND FL.	3RD FL.	4TH FL.	TOTAL		
ONE BEDROOM (1A)	3	4	4	4	15	1 BR	1 BEDROOM UNITS 50%
ONE BEDROOM + DEN (D)	1	1	0	1	3	1 BR + DEN	
ONE BEDROOM + DEN SMALL (S)	0	0	1	0	1	1 BR + DEN SM	
ONE BEDROOM HCP (H)	1	0	0	0	1	1 BR HCP	
TWO BEDROOM (2A)	3	2	3	3	11	2 BR (2A)	2 BEDROOM UNITS 40%
TWO BEDROOM (2C)	1	1	1	1	4	2 BR (2C)	
TWO BEDROOM HCP (2-H)	0	1	0	0	1	2 BR HCP	
THREE BEDROOM (3)	1	1	0	1	3	3 BR	3 BEDROOM UNITS 10%
THREE BEDROOM HCP (3-H)	0	0	1	0	1	3 BR HCP	
TOTAL	10	10	10	10	40 UNITS		



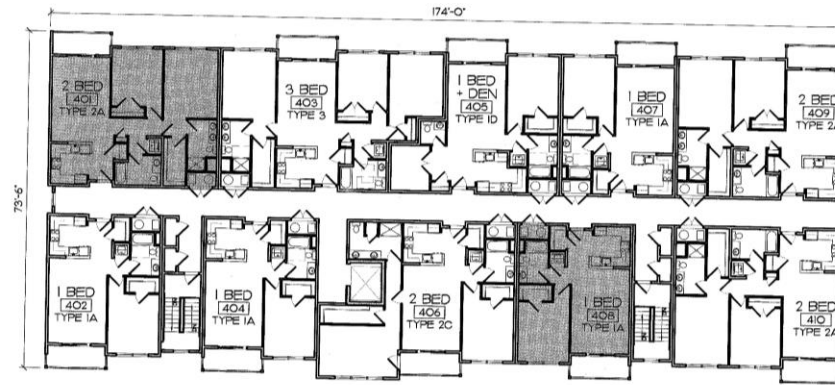
AFFORDABLE
UNIT DESIGNATION

AFFORDABLE
UNIT DESIGNATIO

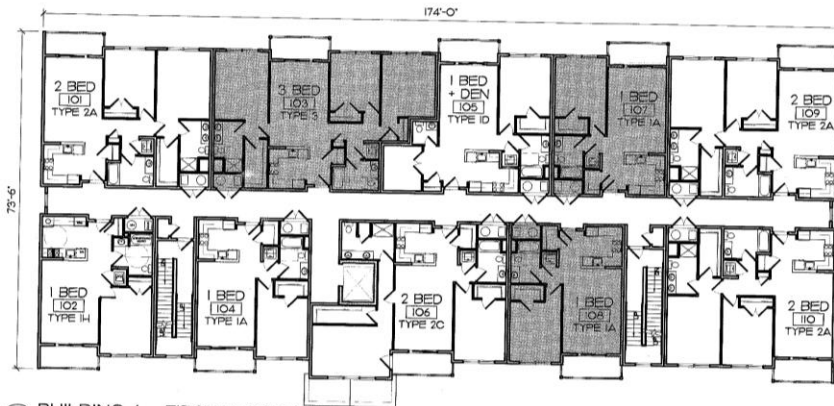
BUILDING 4 LAYOUT



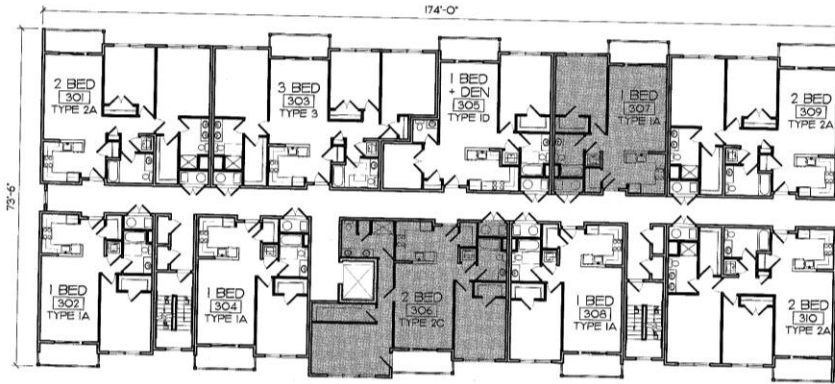
2 BUILDING 4 - SECOND FLOOR PLAN
Scale: 1/16" = 1'-0"



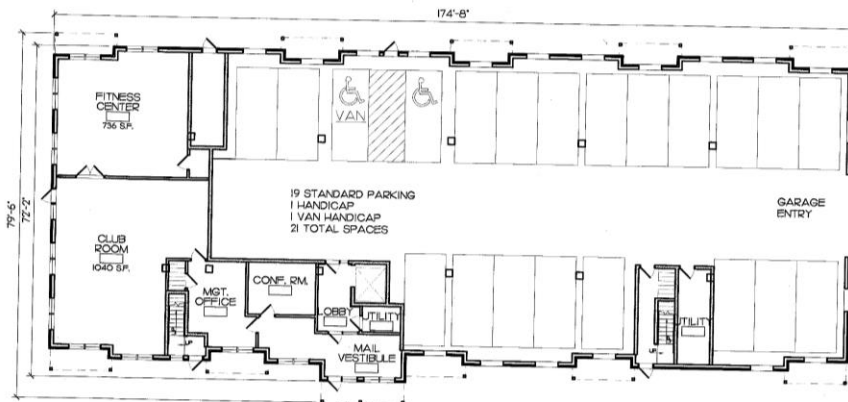
4 BUILDING 4 - FOURTH FLOOR PLAN
Scale: 1/16" = 1'-0"



1 BUILDING 4 - FIRST FLOOR PLAN
Scale: 1/16" = 1'-0"



3 BUILDING 4 - THIRD FLOOR PLAN
Scale: 1/16" = 1'-0"



0 BUILDING 4 - GARAGE/GROUND LEVEL PLAN
Scale: 1/16" = 1'-0"

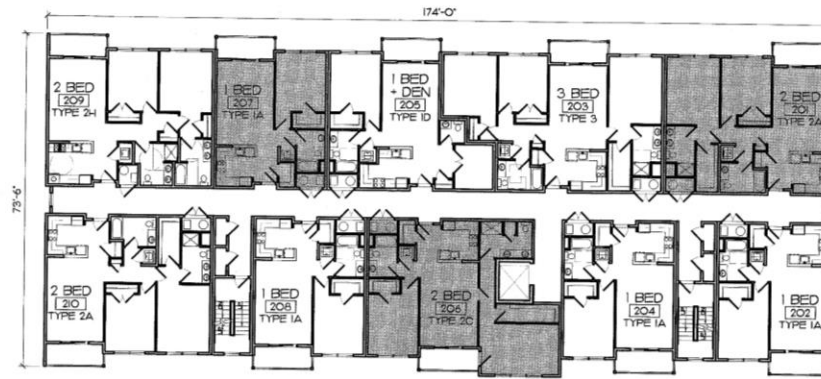
BUILDING 4	1ST FL.	2ND FL.	3RD FL.	4TH FL.	TOTAL		
ONE BEDROOM (1A)	3	4	4	4	15	1 BR	1 BEDROOM UNITS 50%
ONE BEDROOM + DEN (1D)	1	1	0	1	3	1 BR + DEN	
ONE BEDROOM + DEN SMALL (1S)	0	0	1	0	1	1 BR + DEN SM	
ONE BEDROOM HCP (1H)	1	0	0	0	1	1 BR HCP	
TWO BEDROOM (2A)	3	2	3	3	11	2 BR (2A)	2 BEDROOM UNITS 40%
TWO BEDROOM (2C)	1	1	1	1	4	2 BR (2C)	
TWO BEDROOM HCP (2H)	0	1	0	0	1	2 BR HCP	
THREE BEDROOM (3)	1	1	0	1	3	3 BR	3 BEDROOM UNITS 10%
THREE BEDROOM HCP (3H)	0	0	1	0	1	3 BR HCP	
TOTAL	10	10	10	10	40 UNITS		

UNIT BREAKDOWN - BUILDING 4

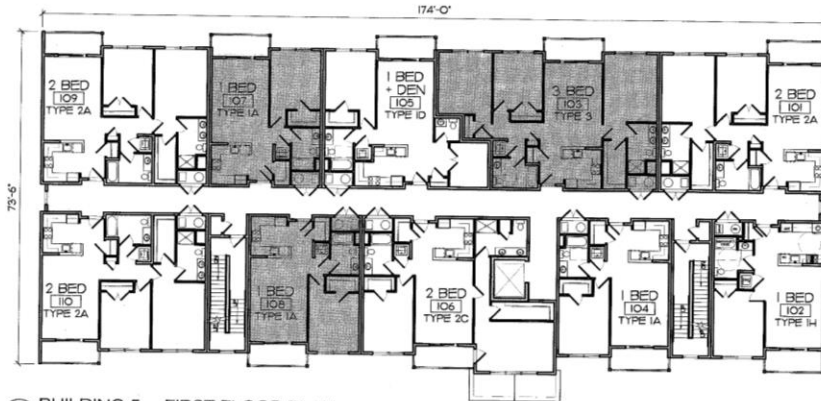


AFFORDABLE
UNIT DESIGNATION

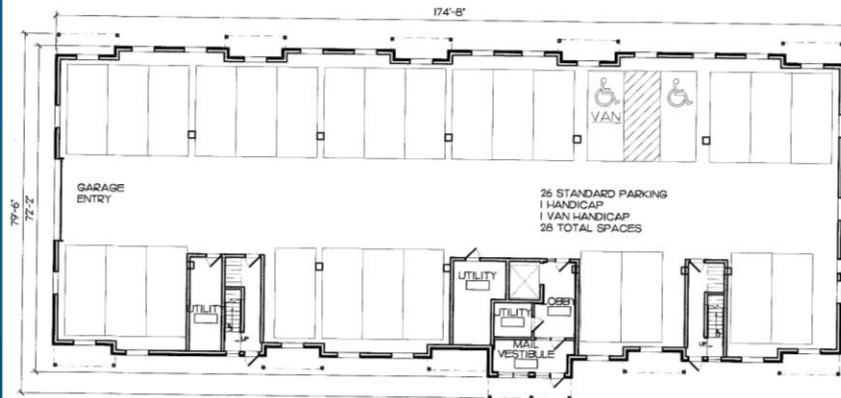
BUILDING 5 LAYOUT



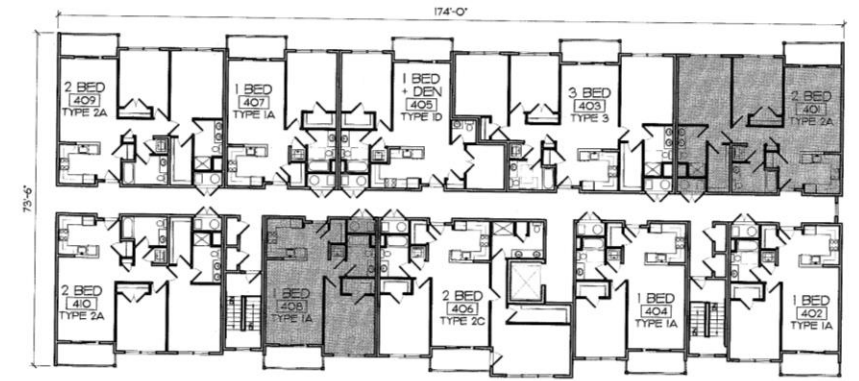
2 BUILDING 5 - SECOND FLOOR PLAN
Scale: 1/16" = 1'-0"



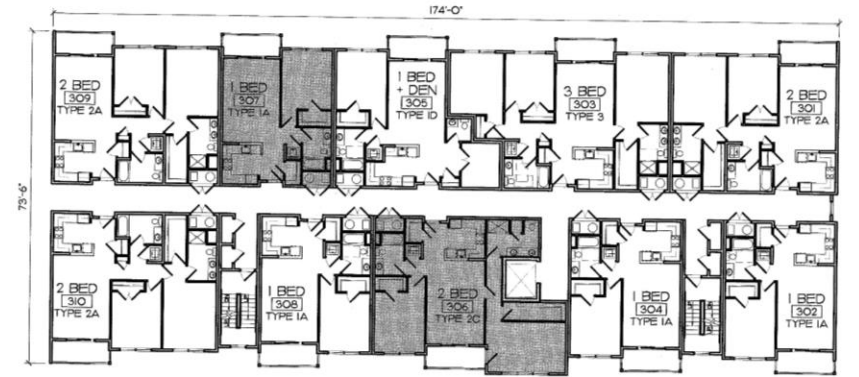
1 BUILDING 5 - FIRST FLOOR PLAN
Scale: 1/16" = 1'-0"



0 BUILDING 5 - GARAGE/GROUND LEVEL PLAN
Scale: 1/16" = 1'-0"



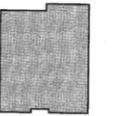
4 BUILDING 5 - FOURTH FLOOR PLAN
Scale: 1/16" = 1'-0"



3 BUILDING 5 - THIRD FLOOR PLAN
Scale: 1/16" = 1'-0"

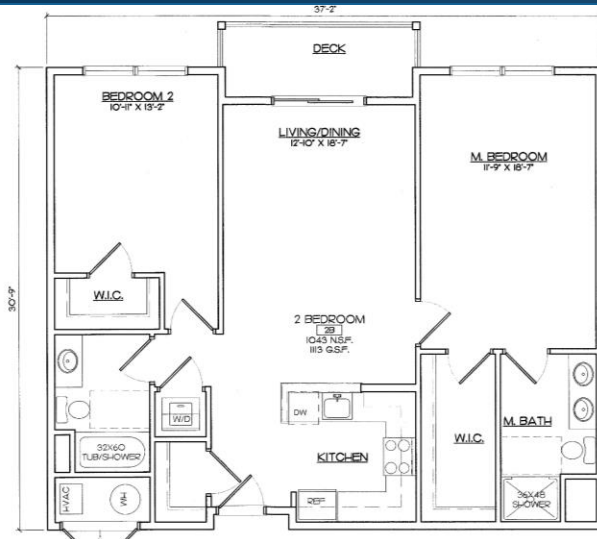
BUILDING 5	1ST FL	2ND FL	3RD FL	4TH FL	TOTAL		
ONE BEDROOM (1A)	3	4	4	4	15	1 BR	1 BEDROOM UNITS 501
ONE BEDROOM + DEN (1D)	1	1	0	1	3	1 BR + DEN	
ONE BEDROOM + DEN SMALL (1S)	0	0	1	0	1	1 BR + DEN SM	
ONE BEDROOM HCP (1H)	1	0	0	0	1	1 BR HCP	
TWO BEDROOM (2A)	3	2	3	3	11	2 BR (2A)	2 BEDROOM UNITS 401
TWO BEDROOM (2C)	1	1	1	1	4	2 BR (2C)	
TWO BEDROOM HCP (2H)	0	1	0	0	1	2 BR HCP	
THREE BEDROOM (3)	1	1	0	1	3	3 BR	3 BEDROOM UNITS 101
THREE BEDROOM HCP (3H)	0	0	1	0	1	3 BR HCP	
TOTAL	10	10	10	10	40 UNITS		

UNIT BREAKDOWN - BUILDING 5

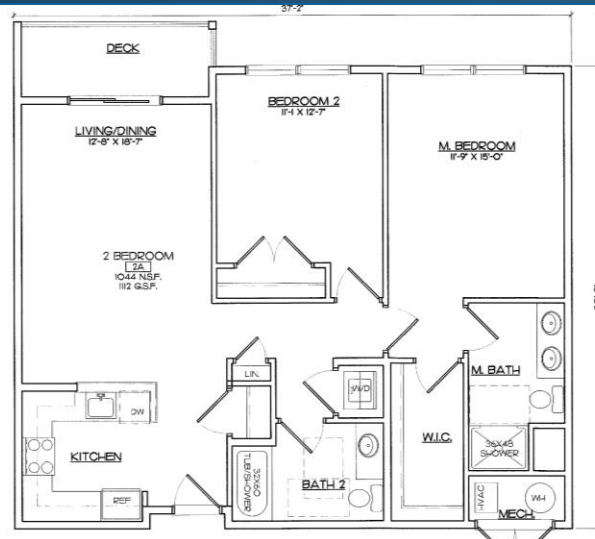


AFFORDABLE UNIT DESIGNATION

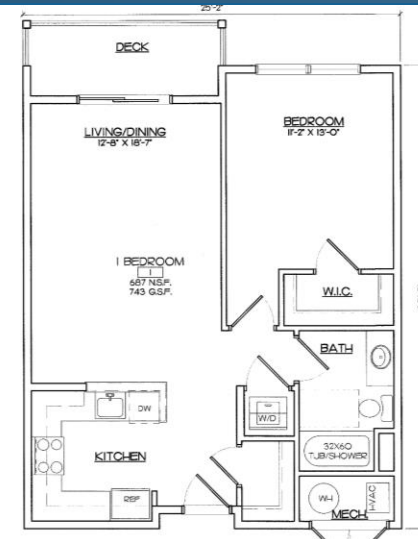
UNIT FLOOR PLANS



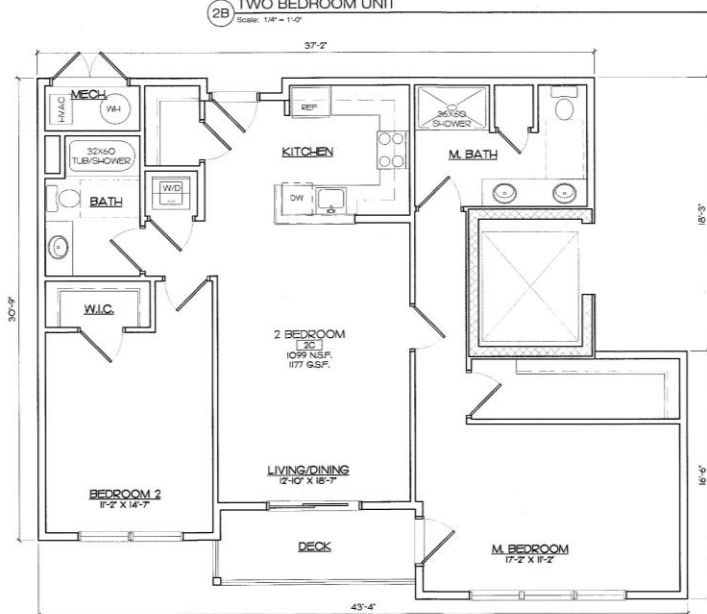
2B TWO BEDROOM UNIT
Scale: 1/4" = 1'-0"



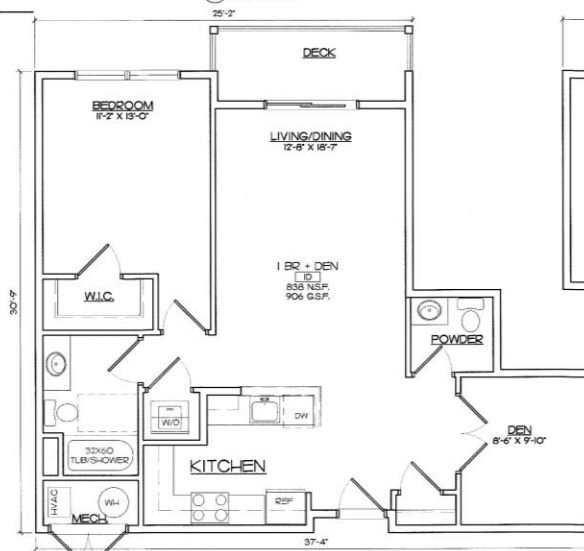
2A TWO BEDROOM UNIT
Scale: 1/4" = 1'-0"



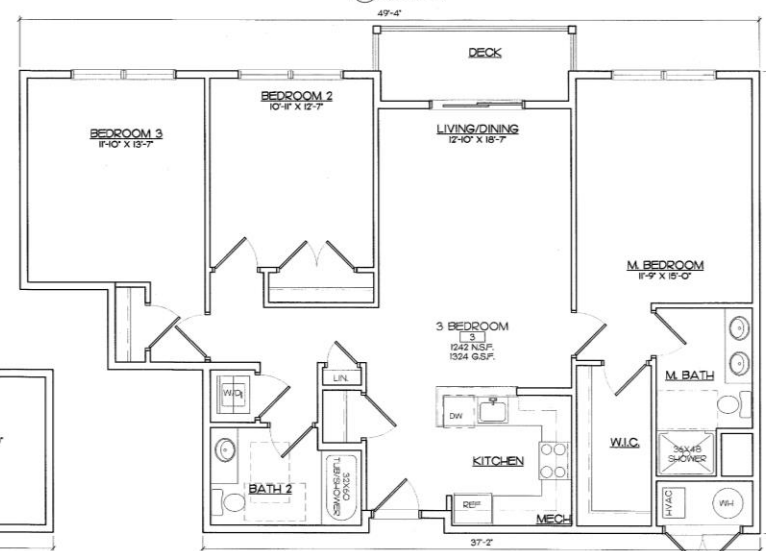
1 ONE BEDROOM UNIT
Scale: 1/4" = 1'-0"



2C TWO BEDROOM UNIT
Scale: 1/4" = 1'-0"

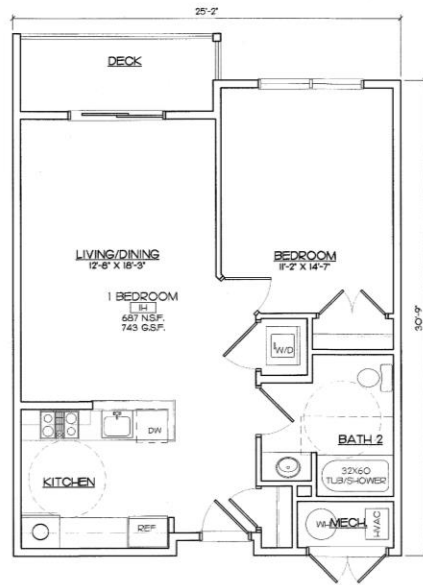


1D ONE BEDROOM + DEN
Scale: 1/4" = 1'-0"

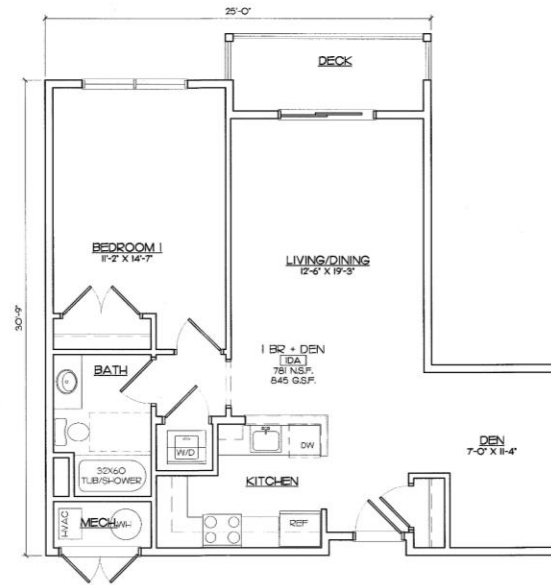


3 THREE BEDROOM UNIT
Scale: 1/4" = 1'-0"

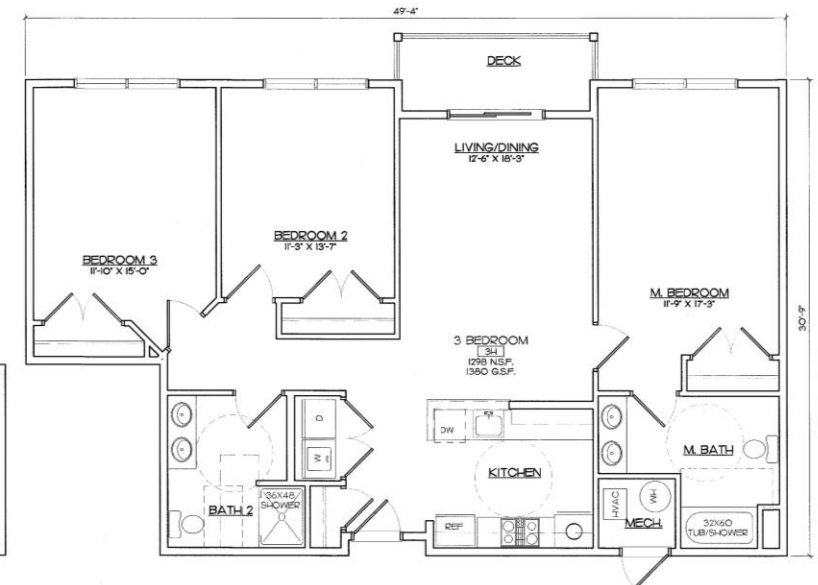
UNIT FLOOR PLANS



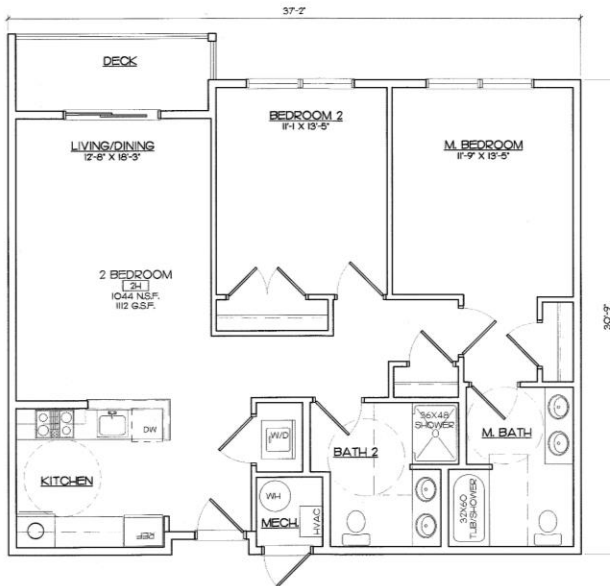
1H ONE BEDROOM - HANDICAP
Scale: 1/4" = 1'-0"



1S ONE BEDROOM + DEN - SMALL
Scale: 1/4" = 1'-0"



3H THREE BEDROOM UNIT - HANDICAP
Scale: 1/4" = 1'-0"

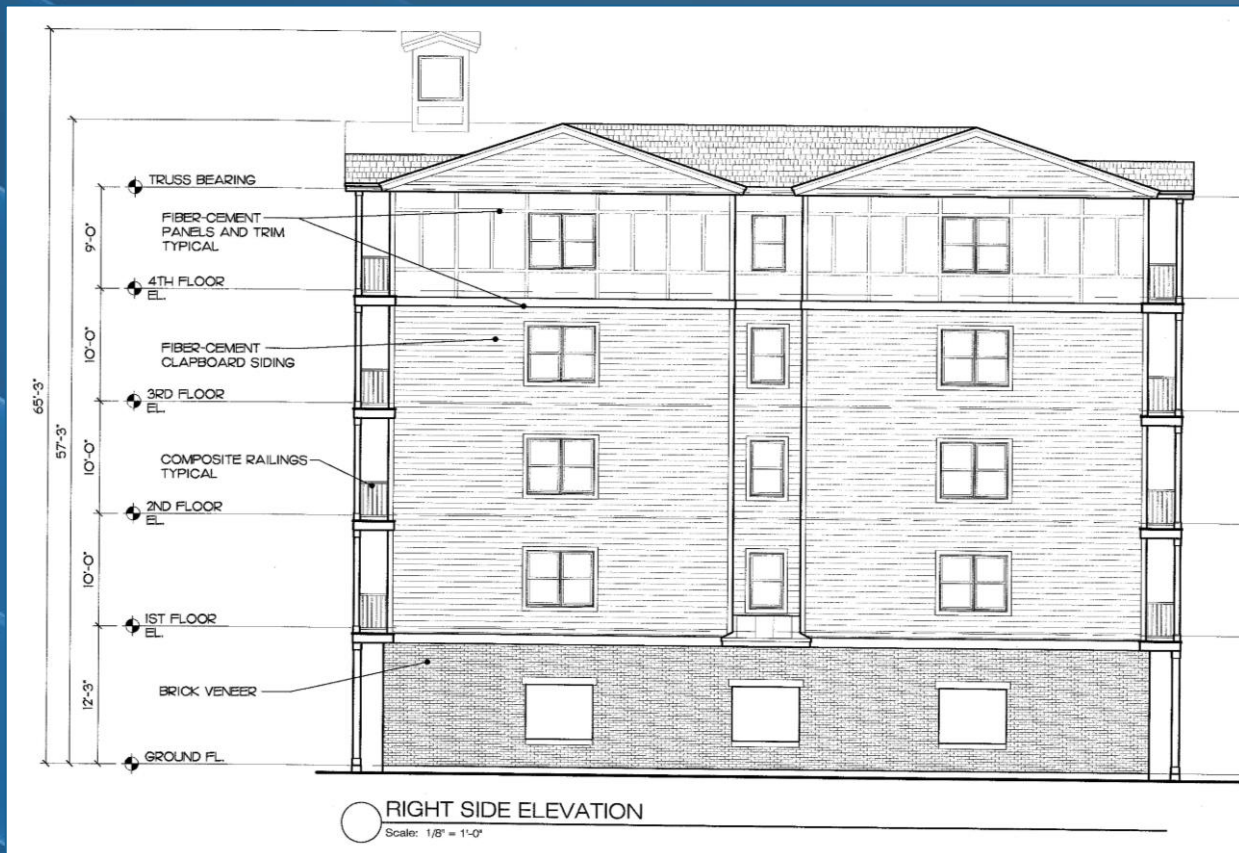


2H TWO BEDROOM UNIT - HANDICAP
Scale: 1/4" = 1'-0"

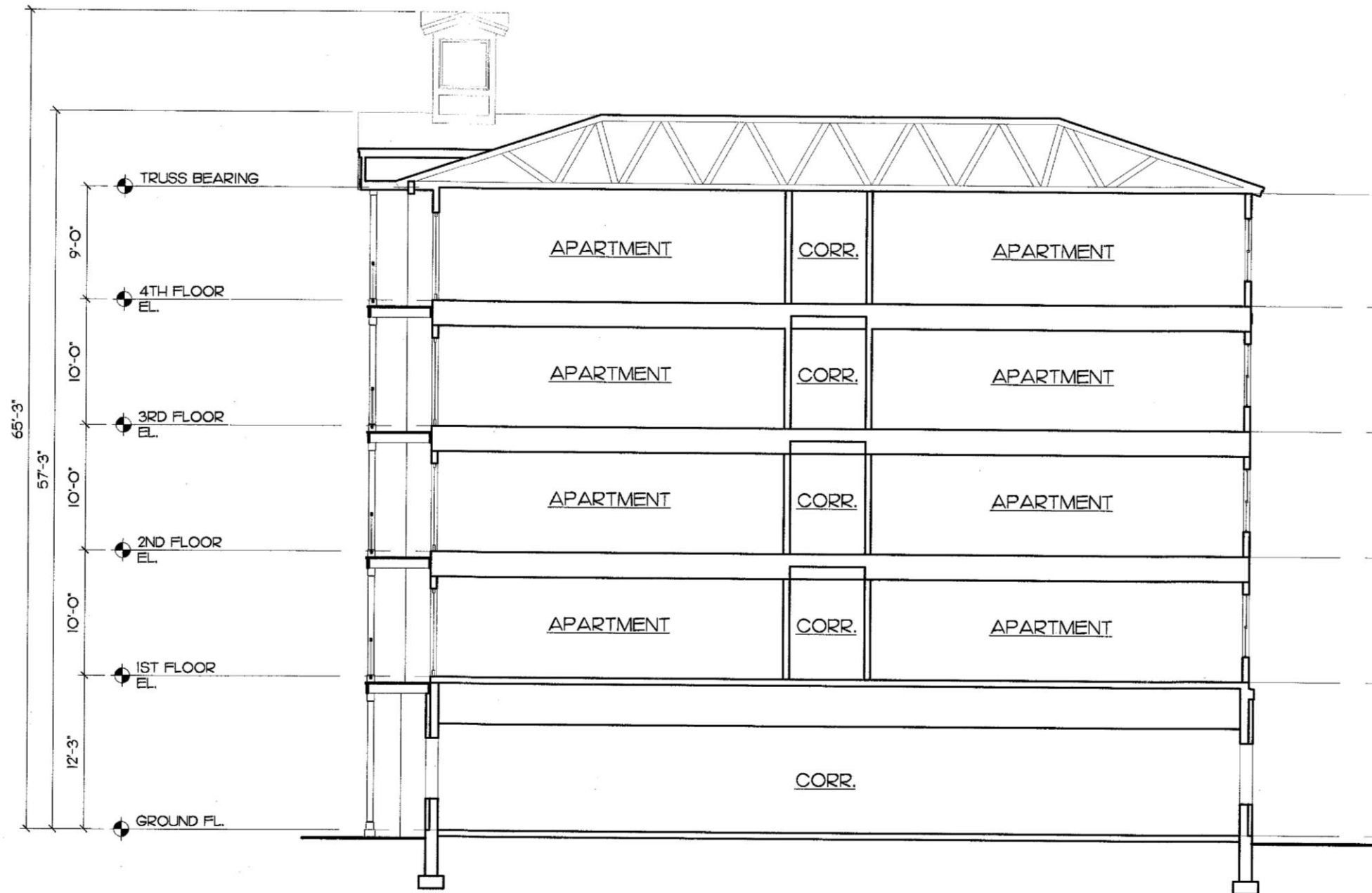
BUILDING ELEVATIONS: FRONT/REAR



BUILDING ELEVATIONS: LEFT & RIGHT SIDES



BUILDING CROSS SECTION



COURTYARD VIEW





SITE ACCESS DRIVEWAY



AERIAL VIEW OF 20 ELM STREET APARTMENTS

Town of North Reading Zoning Board of Appeals August 8, 2019



ELM STREET APARTMENTS
200-Unit Rental Development
20 Elm Street, North Reading, MA
Developer: NY Ventures, LLC

