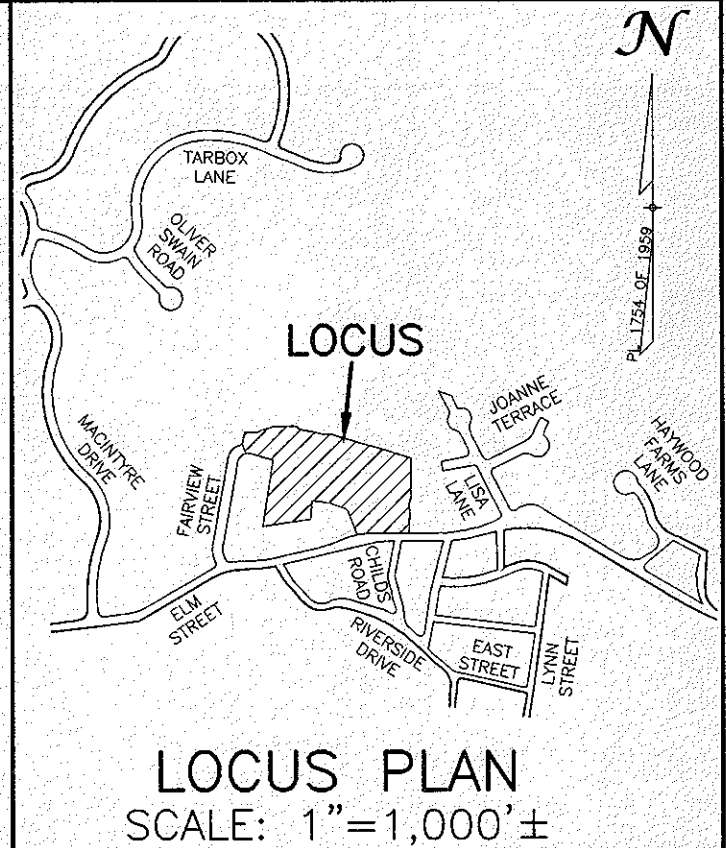
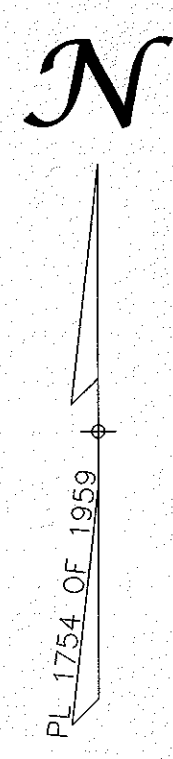




ZONING DISTRICT: Residence A

MINIMUM LOT AREA = 40,000 S.F.
MINIMUM CONTINUOUS LOT FRONTAGE = 160 FEET

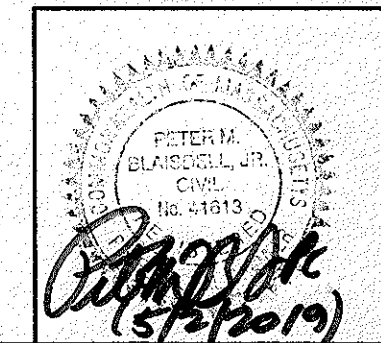
FRONT YARD SETBACK = 40 FEET
SIDE YARD SETBACK = 25 FEET
REAR YARD SETBACK = 50 FEET

MAXIMUM BUILDING HEIGHT = 35 FEET
MAXIMUM BUILDING HEIGHT = 2.5 STORIES
MAXIMUM BUILDING AREA = 20%

LEGEND OF ABBREVIATIONS
SBDH - STONE BOUND DRILL HOLE
DH - DRILL HOLE
(FND) - FOUND

NORTH READING
COMMUNITY PLANNING COMMISSION

DATE: _____



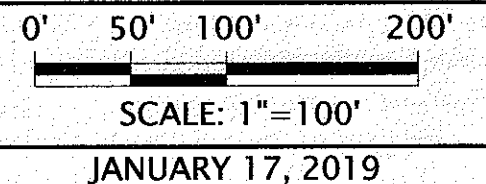
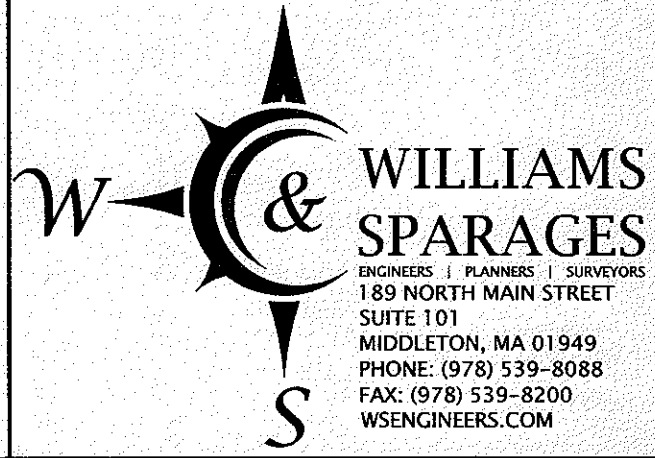
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1	PEER REVIEW COMMENTS	3/25/2019
NO.	DESCRIPTION	DATE

**INDEX SHEET
GRAND LEGACY
NORTH READING, MA**

OWNER & APPLICANT:
77 ELM STREET LLC
PO BOX 549
NORTH READING, MA 01864

DEED REFERENCE:
BOOK 71352 PAGE 399

ASSESSORS REFERENCE:
MAP 78 LOT 79 & 89



INDEX SHEET 1 OF 1
SHEET 1 OF 10

CLERKS CERTIFICATION ON THE PLAN
DATE: _____

I, _____, CLERK OF THE TOWN OF NORTH READING, DO HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE COMMUNITY PLANNING COMMISSION HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND THAT NO APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

TOWN CLERK

- NOTES:
- PROPERTY DOES NOT LIE WITHIN A FLOOD HAZARD AREA (ZONE A) AS SHOWN ON FLOOD INSURANCE RATE MAP NUMBER 25017C0308E, EFFECTIVE DATE JUNE 4, 2010.
 - PROPERTY DOES NOT LIE WITHIN THE AQUIFER PROTECTION DISTRICT.

- PLAN SET INDEX**
- SHEET 1: INDEX SHEET
 - SHEET 2: DEFINITIVE PLAN
 - SHEET 3: DEFINITIVE PLAN (CPC DECISION)
 - SHEET 4: DEFINITIVE PLAN & PROFILE
 - SHEET 5: TOPOGRAPHIC PLAN (EXISTING CONDITION)
 - SHEET 6: TOPOGRAPHIC PLAN (PROPOSED CONDITION)
 - SHEETS 7-10: CONSTRUCTION DETAILS

I CERTIFY THAT I HAVE CONFORMED WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS IN PREPARING THIS PLAN.

WILLIAMS & SPARAGES LLC

THE GREENS AT THE
THOMSON CLUB CONDOMINIUM
MAP 85 PARCEL 9

I CERTIFY THAT I HAVE CONFORMED
WITH THE RULES AND REGULATIONS
OF THE REGISTERS OF DEEDS IN
PREPARING THIS PLAN.

WILLIAMS & SPARAGES LLC

ZONING DISTRICT: Residence A

MINIMUM LOT AREA = 40,000 S.F.
MINIMUM CONTINUOUS LOT FRONTAGE = 160 FEET

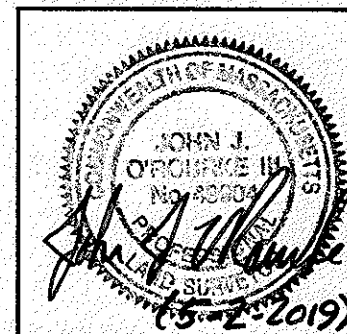
FRONT YARD SETBACK = 40 FEET
SIDE YARD SETBACK = 25 FEET
REAR YARD SETBACK = 50 FEET

MAXIMUM BUILDING HEIGHT = 35 FEET
MAXIMUM BUILDING HEIGHT = 2.5 STORIES
MAXIMUM BUILDING AREA = 20%

NORTH READING
COMMUNITY PLANNING COMMISSION

DATE: _____

- DENOTES AN IRON PIPE TO BE SET BY
OWNER UNLESS OTHERWISE NOTED.
- DENOTES A GRANITE STONE BOUND
WITH A DRILL HOLE TO BE SET BY
THE OWNER UNLESS OTHERWISE NOTED.



NO.	DESCRIPTION	DATE
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1	PEER REVIEW COMMENTS	3/25/2019

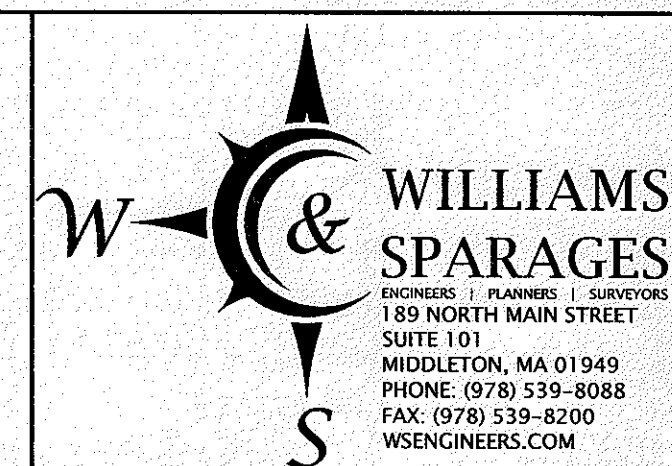
**DEFINITIVE PLAN
GRAND LEGACY
NORTH READING, MA**

OWNER & APPLICANT:
77 ELM STREET LLC
PO BOX 548
NORTH READING, MA 01864

DEED REFERENCE:
BOOK 71352 PAGE 399

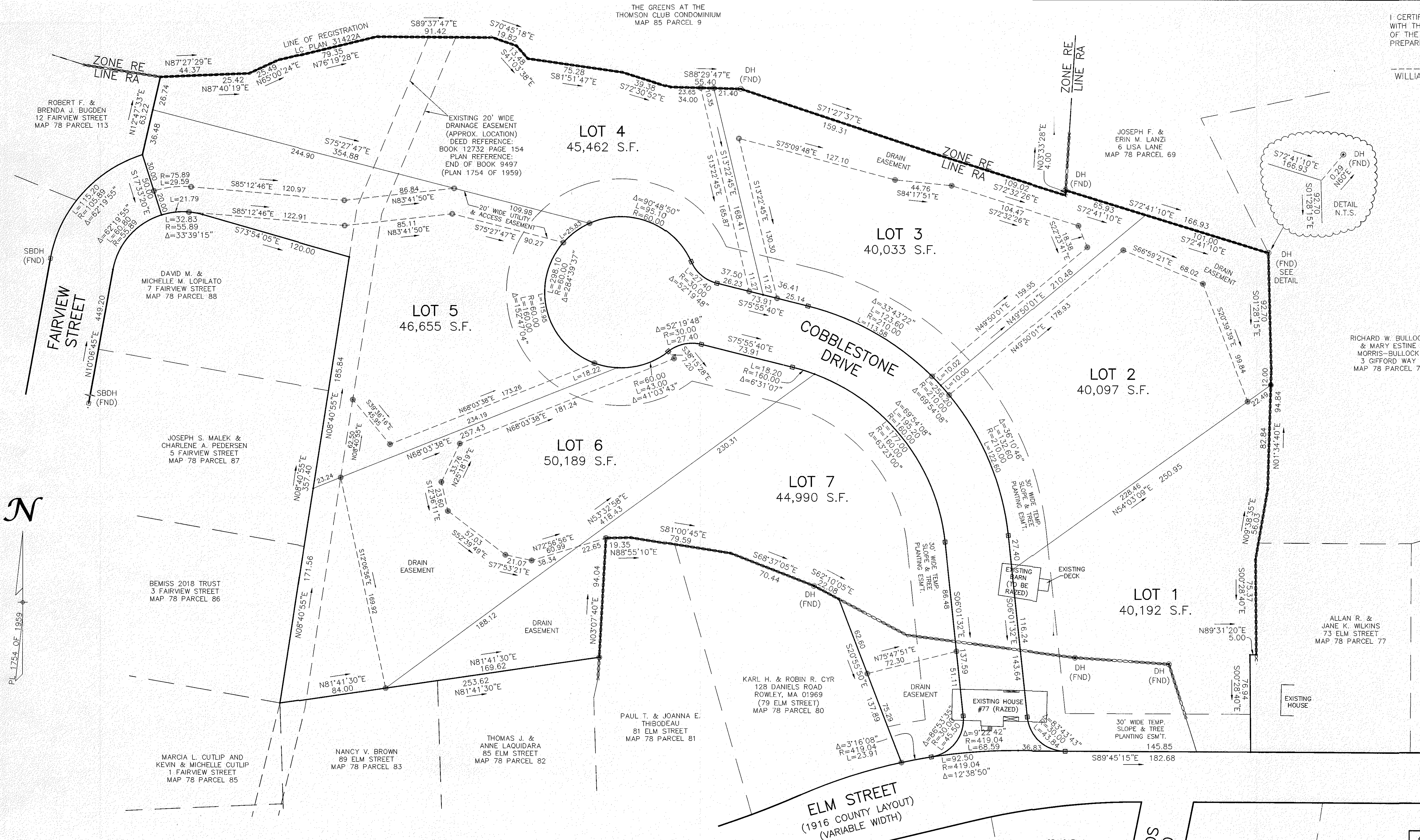
ASSESSORS REFERENCE:
MAP 78 LOT 79 & 89

0' 20' 40' 80'
SCALE: 1"=40'
JANUARY 17, 2019



PLAN SHEET 1 OF 2

SHEET 2 OF 9



CLERKS CERTIFICATION ON THE PLAN

DATE: _____

I, _____, CLERK OF THE TOWN OF NORTH
READING, DO HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS
PLAN BY THE COMMUNITY PLANNING COMMISSION HAS BEEN RECEIVED
AND RECORDED AT THIS OFFICE AND THAT NO APPEAL WAS RECEIVED
DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING
OF SAID NOTICE.

TOWN CLERK

AREA TABULATION:

TOTAL PARCEL: 343,384 S.F.
TOTAL OF 7 LOTS: 307,622 S.F.
TOTAL OF ROADWAY: 35,762 S.F.
TOTAL OF EASEMENTS: 74,006± S.F.
(INCLUDES PROPOSED AND EXISTING EASEMENTS)

(LOT 2 DRAIN EASEMENT: 8,832 S.F.)
(LOT 3 DRAIN EASEMENT: 12,517 S.F.)
(LOT 4 DRAIN EASEMENT: 1,671 S.F.)
(*LOT 4 DRAINAGE EASEMENT: 2,292± S.F.)
(LOT 5 DRAIN EASEMENT: 3,100 S.F.)
(LOT 5 UTILITY & ACCESS EASEMENT: 6,651 S.F.)
(*LOT 5 DRAINAGE EASEMENT: 5,060± S.F.)
(LOT 6 DRAIN EASEMENT: 17,276 S.F.)
(*LOT 6 DRAINAGE EASEMENT: 3,488± S.F.)
(LOT 7 WEST DRAIN EASEMENT: 8,524 S.F.)
(LOT 7 EAST DRAIN EASEMENT: 4,595 S.F.)

*: DENOTES EXISTING DRAINAGE EASEMENT

PLAN REFERENCES:

1916 COUNTY LAYOUT (ELM STREET)
PLAN NO. 60 OF 1957
PLAN NO. 1754 OF 1959
PLAN NO. 279 OF 1960
PLAN NO. 1844 OF 1960
LC PLAN 31422A
PLAN NO. 784 OF 1996
PLAN NO. 483 OF 2002
(FILED AT MIDDLESEX SOUTH REGISTRY OF DEEDS)

LEGEND OF ABBREVIATIONS

SBDH — STONE BOUND DRILL HOLE
DH — DRILL HOLE
(FND) — FOUND

PLAN SET INDEX

SHEET 1: INDEX SHEET
SHEET 2: DEFINITIVE PLAN
SHEET 3: DEFINITIVE PLAN (CPC DECISION)
SHEET 4: PLAN & PROFILE
SHEET 5: TOPOGRAPHIC PLAN
SHEETS 6-8: DETAILS/ NOTES

I CERTIFY THAT I HAVE CONFORMED WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS IN PREPARING THIS PLAN.

WILLIAMS & SPARAGES LLC

CLERKS CERTIFICATION ON THE PLAN

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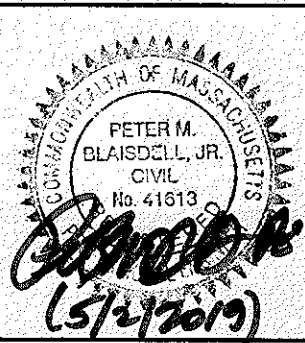
TOWN CLERK

List of Waivers
Definitive Subdivision Plan

1. Section 350-25.c(5) and Schedule A (Typical Cross Section) - Reinforced Concrete Pipe - Which requires reinforced concrete pipe to be used for all drainage pipes, and allow HDPE, SCH40 PVC, and/or ductile iron pipe for all drainage pipes.
2. Schedule A - Typical Roadway Cross-Section - Which requires 3 feet of cover over drain pipe and 12" minimum diameter drain pipe, and allow for drain pipe as shown on the plans.
3. Section 350-14.E(4)(a) - Cul-de-sac - Which requires an outside roadway diameter of at least 100-feet and no circular landscape island, and allow an outside diameter of 100-feet and a circular landscape island as shown on the plans.

NORTH READING
COMMUNITY PLANNING COMMISSION

DATE: _____



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1	PEER REVIEW COMMENTS	3/25/2019
NO.	DESCRIPTION	DATE

DEFINITIVE PLAN
GRAND LEGACY
NORTH READING, MA

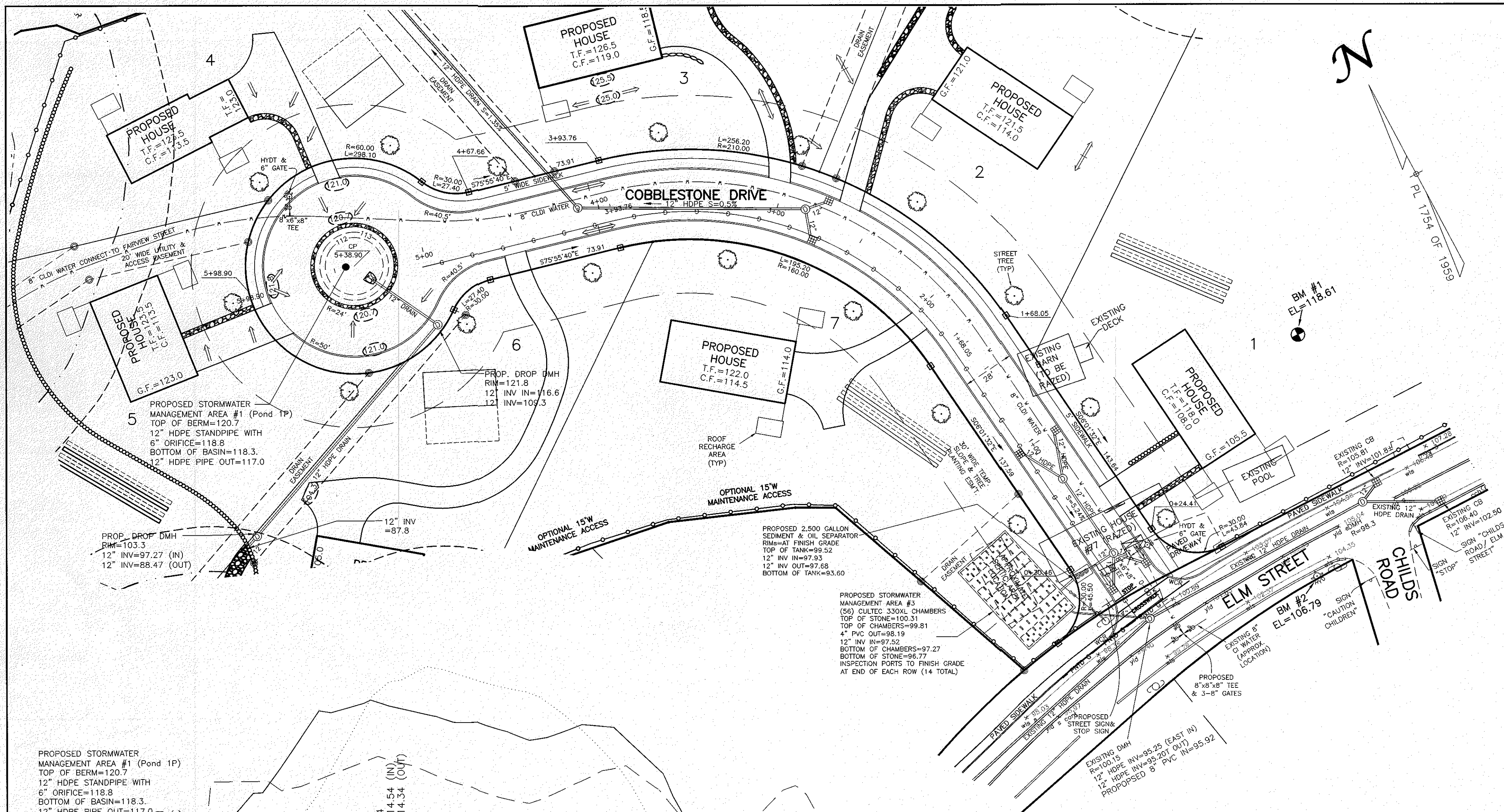
OWNER & APPLICANT:
77 ELM STREET LLC
PO BOX 548
NORTH READING, MA 01864

DEED REFERENCE:
BOOK 71352 PAGE 399

ASSESSORS REFERENCE:
MAP 78 LOT 79 & 89



SCALE: NOT TO SCALE	PLAN SHEET 2 OF 2
JANUARY 17, 2019	SHEET 3 OF 10

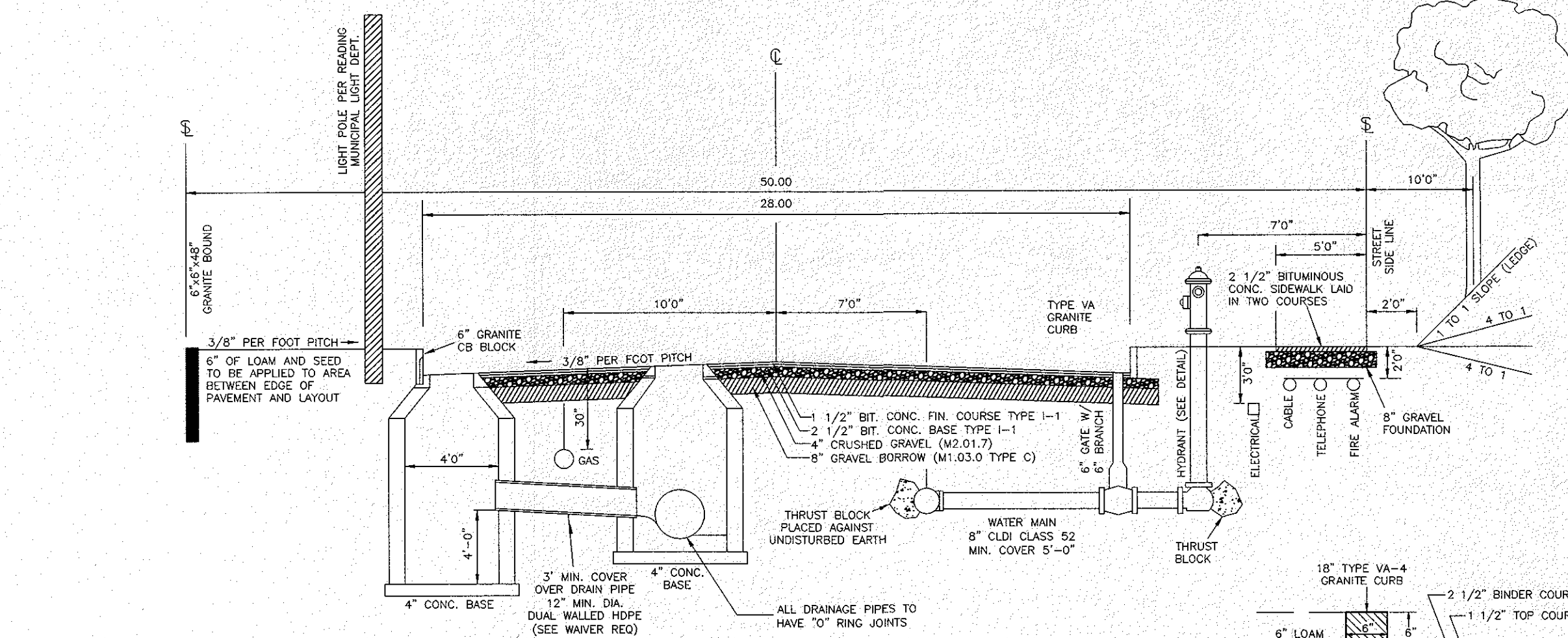


CLERK'S CERTIFICATION ON THE PLAN
DATE: _____
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I CERTIFY THAT I HAVE CONFORMED WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS IN PREPARING THIS PLAN.

WILLIAMS & SPARAGES LLC

TOWN CLERK



DRIVEWAY RAMP DETAIL
(NOT TO SCALE)

- NOTES:
1. VERTICAL GRANITE CURBING IS TO BE VA-4, 18" DEEP WITH A SIX INCH REEL.
 2. ALL TRENCH BACKFILL FOR UTILITIES TO BE APPROVED BEFORE USE. DRAINAGE TRENCHES TO BE BACKFILLED WITH APPROVED GRAVEL.
 3. WATER MAINS TO BE GATED AS SHOWN ON THE PLANS AND PER WATER DEPARTMENT REQUIREMENTS.
 4. WATER MAINS TO BE CEMENT LINE DUCTILE IRON (CDI) PIPE, CLASS 52.
 5. HYDRANTS TO HAVE 6 INCH GATE LOCATED 3 FT. FROM HYDRANTS. BRANCHES TO BE 6 INCH CLASS 52.
 6. GRANITE BOUNDS (6" SQ. BY 4" MIN.) TO BE SET AT ALL P.C.'S, BENDS AND ON STRAIGHTWAYS NOT OVER 500 FT. APART. SET FLUSH WITH SIDEWALK.
 7. GRADE AND ALIGNMENT STAKES SHALL BE SET ACCURATELY FOR EACH UTILITY AND FOR THE ROAD CONSTRUCTION.
 8. UNDERDRAINS SHALL BE INSTALLED AS REQUIRED DURING CONSTRUCTION BY THE CPC AGENT.
 9. ALL COPPER WATER SERVICES & STEEL GAS SERVICES TO BE EXTENDED SIX FEET BEYOND LIMIT OF R.O.W.
 10. THE VA-4 GRANITE CURB IS TO BE SET IN A CONCRETE BED @ THE FACE (PORTLAND CEMENT MORTAR).

TYPICAL ROAD CROSS SECTION
(NOT TO SCALE)

VERTICAL GRANITE CURB
DETAIL
(NOT TO SCALE)

NORTH READING
COMMUNITY PLANNING COMMISSION

BENCHMARKS: (NAVD88)

#1) TOP DRILL HOLE REAR LOT 1 - ELEV=118.61

#2) SPINDLE HYDRANT AT INTERSECTION ELM STREET AND CHILDS ROAD - ELEV=106.79

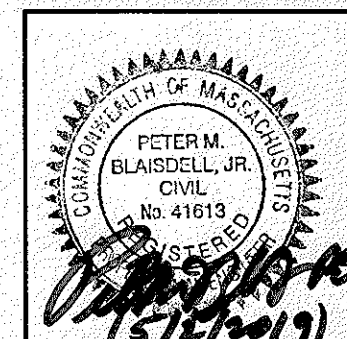
#3) SPINDLE HYDRANT AT END FAIRVIEW STREET (REAR LOT 3) - ELEV=91.26 (SEE TOPO SHEET 2 OF 2 FOR LOCATION)

DATE: _____

NOTES:

1. PROPERTY DOES NOT LIE WITHIN A FLOOD HAZARD AREA (ZONE A) AS SHOWN ON FLOOD INSURANCE RATE MAP NUMBER 25017C0308E, EFFECTIVE DATE JUNE 4, 2010.
2. PROPERTY DOES NOT LIE WITHIN THE AQUIFER PROTECTION DISTRICT.
3. TOPOGRAPHY SHOWN IS COMPILED FROM AN ACTUAL FIELD SURVEY PERFORMED BY WILLIAMS & SPARAGES, LLC FROM SEPTEMBER 2018 TO JANUARY 2019.
4. WETLANDS SHOWN ON THIS PLAN FLAGGED BY WILLIAMS & SPARAGES, LLC ON AUGUST 29, 2018.
5. SOIL TESTING CONDUCTED BY WILLIAMS & SPARAGES, LLC FROM SEPTEMBER 20, 2018 TO OCTOBER 31, 2018 AND WITNESSED BY THE NORTH READING BOARD OF HEALTH.
6. DATUM FOR ELEVATIONS SHOWN IS NAVD88.
7. HIGH WATER MARK HAS BEEN DETERMINED THROUGH TEST HOLE PROGRAM WITNESSED BY THE NORTH READING BOARD OF HEALTH. TEST HOLE DATA IS ON FILE AT OFFICE OF THE NORTH READING BOARD OF HEALTH.
8. ELECTRIC LAYOUT AND STREET LIGHT LOCATIONS TO BE DETERMINED BY THE READING MUNICIPAL LIGHT DEPARTMENT. STREET LIGHTS SHALL BE INSTALLED TO CONFORM TO THE TYPE AND STYLE AS REQUIRED BY THE DEPARTMENT OF PUBLIC WORKS.
9. ALL DRAINAGE PIPES SHALL BE DUAL WALL HDPE PIPE CONFORMING TO AASHTO M294 TYPE S OR TYPE SP FOR 12" DIAMETER OR GREATER IN INTERIOR DIAMETER AND DUCTILE IRON PIPE SHALL BE USED FOR INTERIOR DIAMETERS LESS THAN 12".

- - DENOTES AN IRON PIPE TO BE SET BY OWNER UNLESS OTHERWISE NOTED.
- - DENOTES A GRANITE STONE BOUND WITH A DRILL HOLE TO BE SET BY THE OWNER UNLESS OTHERWISE NOTED.



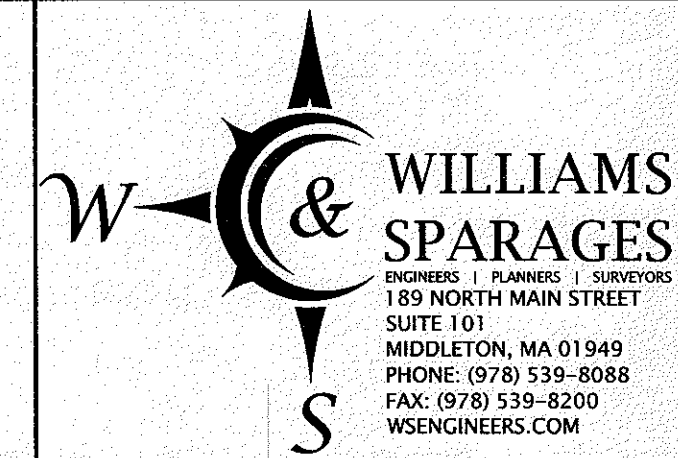
NO.	DESCRIPTION	DATE
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1	PEER REVIEW COMMENTS	3/25/2019

DEFINITIVE PLAN & PROFILE GRAND LEGACY NORTH READING, MA

OWNER & APPLICANT:
77 ELM STREET LLC
PO BOX 548
NORTH READING, MA 01864

DEED REFERENCE:
BOOK 71352 PAGE 399

ASSESSORS REFERENCE:
MAP 78 LOT 79 & 89



0' 20' 40' 80'
SCALE: 1"=40' (HOR) & 4' (VERT)
JANUARY 17, 2019

PROFILE SHEET 1 OF 1
SHEET 4 OF 10



LEGEND

EXISTING SPOT ELEVATION	106
EXISTING CONTOUR	106
PROPOSED CONTOUR	106
PROPOSED SPOT ELEVATION	91.8
DRAIN MANHOLE	10
CATCH BASIN	10
WETLANDS	WF A-27 WF A-26
100' BWV BUFFER	100' BWV BUFFER
75' BWV BUFFER	75' BWV BUFFER
12" NO DISTURB	12" NO DISTURB
UTILITY POLE	UT 16-5
PROPOSED WATER LINE	W 16-5
PROPOSED STREET TREE	ST 16-5
TEST HOLE	TH 16-5
SILT FENCE (& LIMIT OF WORK)	SILT FENCE (& LIMIT OF WORK)
EXISTING RETAINING WALL	16-5
MAIL BOX	MB 16-5
HYDRANT	HY 16-5
PAINTED GAS LINE	PG 16-5
PROPOSED GAS LINE	PG 16-5
APPROXIMATE WELL LOCATION	W 16-5

CLERKS CERTIFICATION ON THE PLAN

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TOWN CLERK

BUFFER ZONE TABLE

LOT #	AREA (SF)	DISTURBANCE (SF) (75% MAX)	IMPERVIOUS (SF) (22% MAX)
1	1,130	1,033 (91.4%)	0 (0%)
2	12,386	11,847 (95.6%)	0 (0%)
3	545	351 (64.4%)	0 (0%)
4	24,324	8,771 (36.1%)	997 (4.1%)
5	24,335	16,756 (68.9%)	662 (2.7%)
6	28,087	14,711 (52.4%)	1,850 (6.6%)
7	5,128	3,271 (63.8%)	0 (0%)
TOTAL	95,935	56,740 (59.1%)	3,509 (3.7%)

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BENCHMARKS: (NAVD88)

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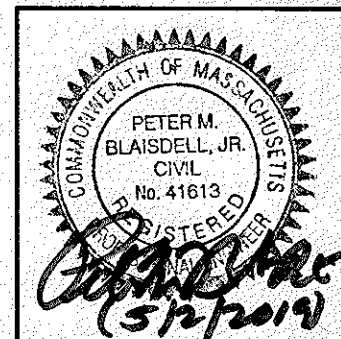
WILLIAMS & SPARGES, LLC

NORTH READING
COMMUNITY PLANNING COMMISSION

DATE: _____

○ - DENOTES AN IRON PIPE TO BE SET BY OWNER UNLESS OTHERWISE NOTED.

□ - DENOTES A GRANITE STONE BOUND WITH A DRILL HOLE TO BE SET BY THE OWNER UNLESS OTHERWISE NOTED.



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1	PEER REVIEW COMMENTS	3/25/2019
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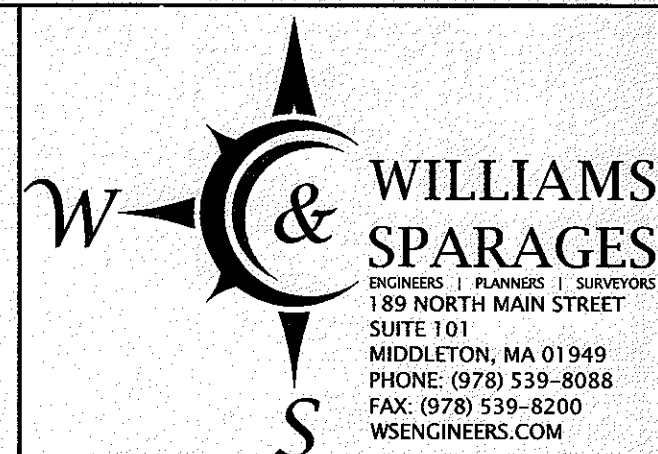
TOPOGRAPHIC PLAN GRAND LEGACY (PROPOSED CONDITION) NORTH READING, MA

OWNER & APPLICANT:
77 ELM STREET LLC
PO BOX 548
NORTH READING, MA 01864

DEED REFERENCE:
BOOK 71352 PAGE 399

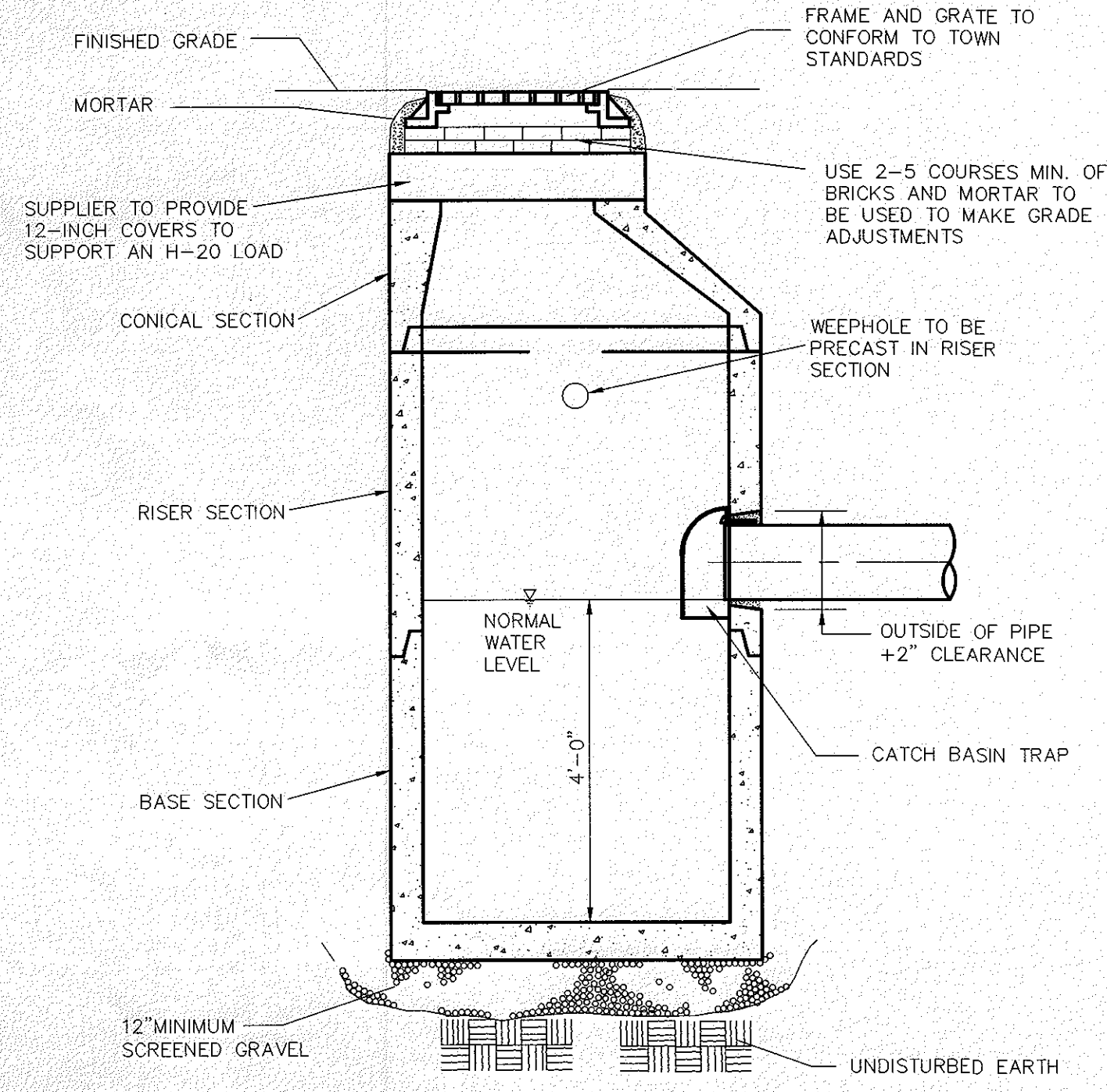
ASSESSORS REFERENCE:
MAP 78 LOT 79 & 89

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JANUARY 17, 2019

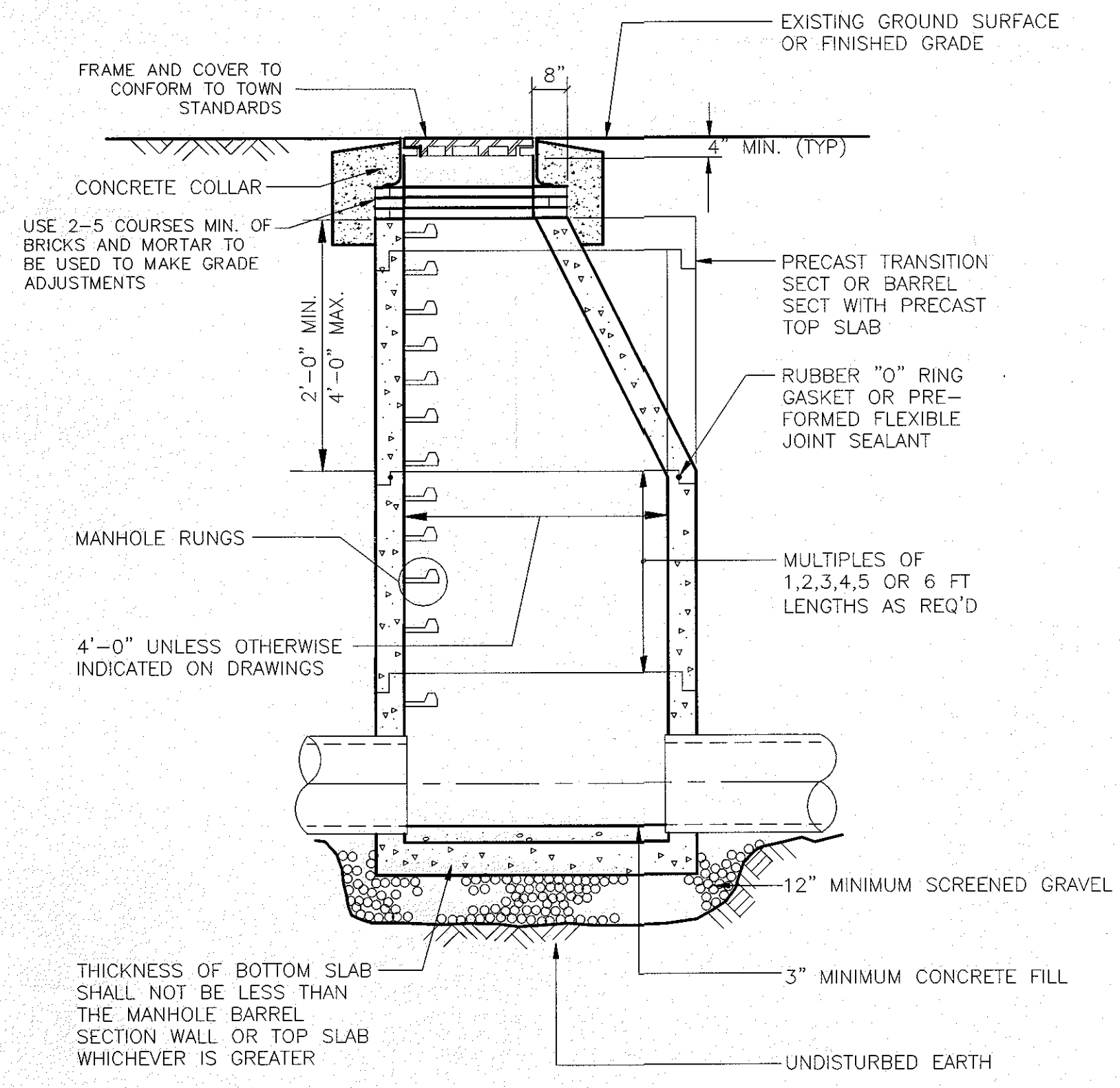


TOPO SHEET 2 OF 2

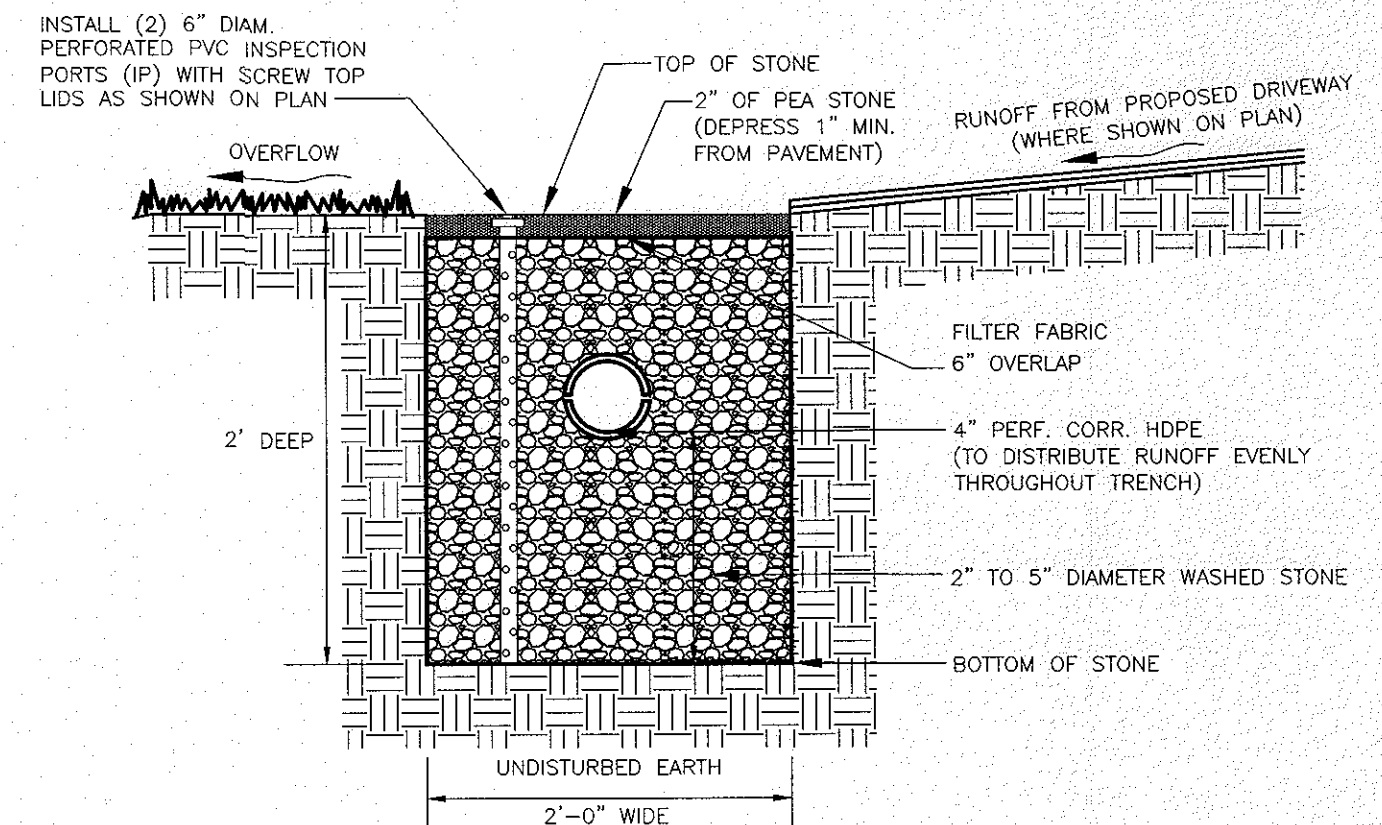
SHEET 6 OF 10



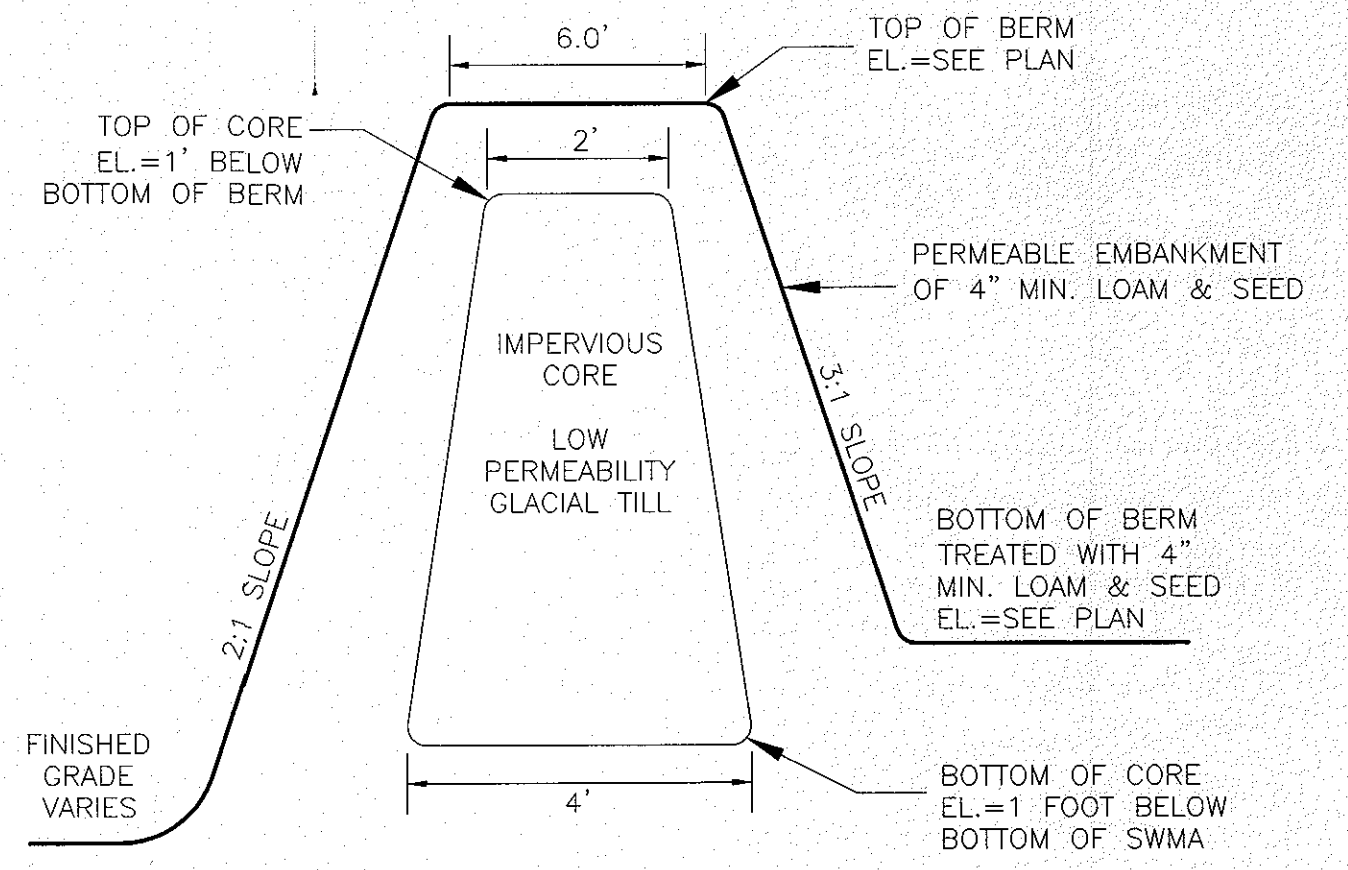
PRECAST CATCH BASIN
DETAIL
(NOT TO SCALE)



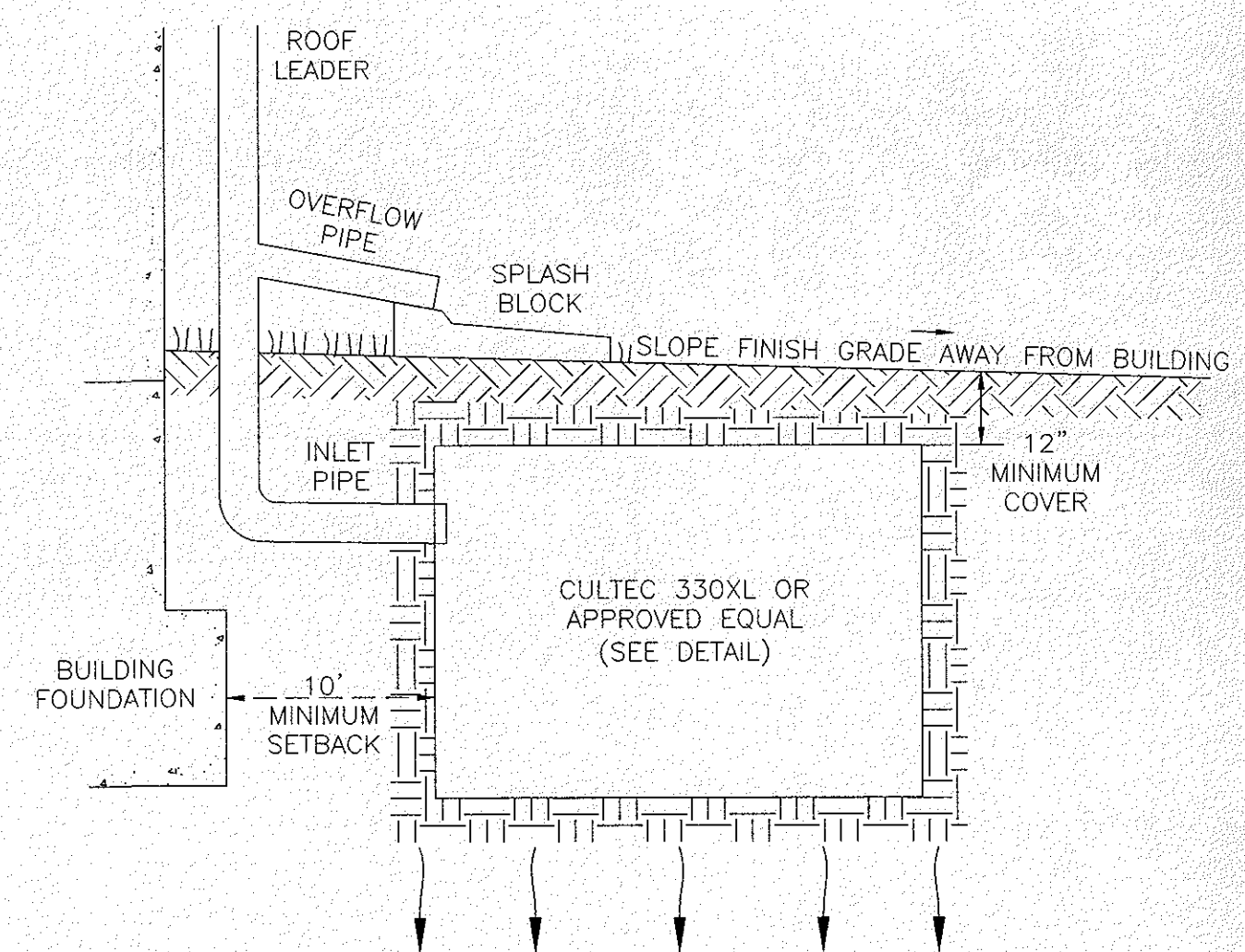
PRECAST DRAIN MANHOLE
DETAIL
(NOT TO SCALE)



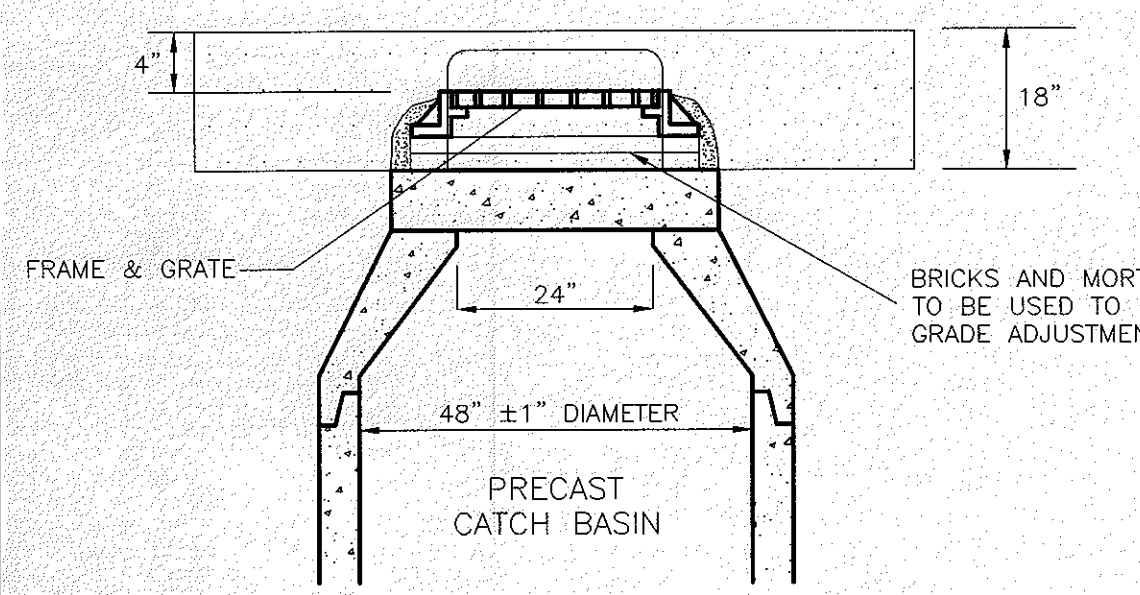
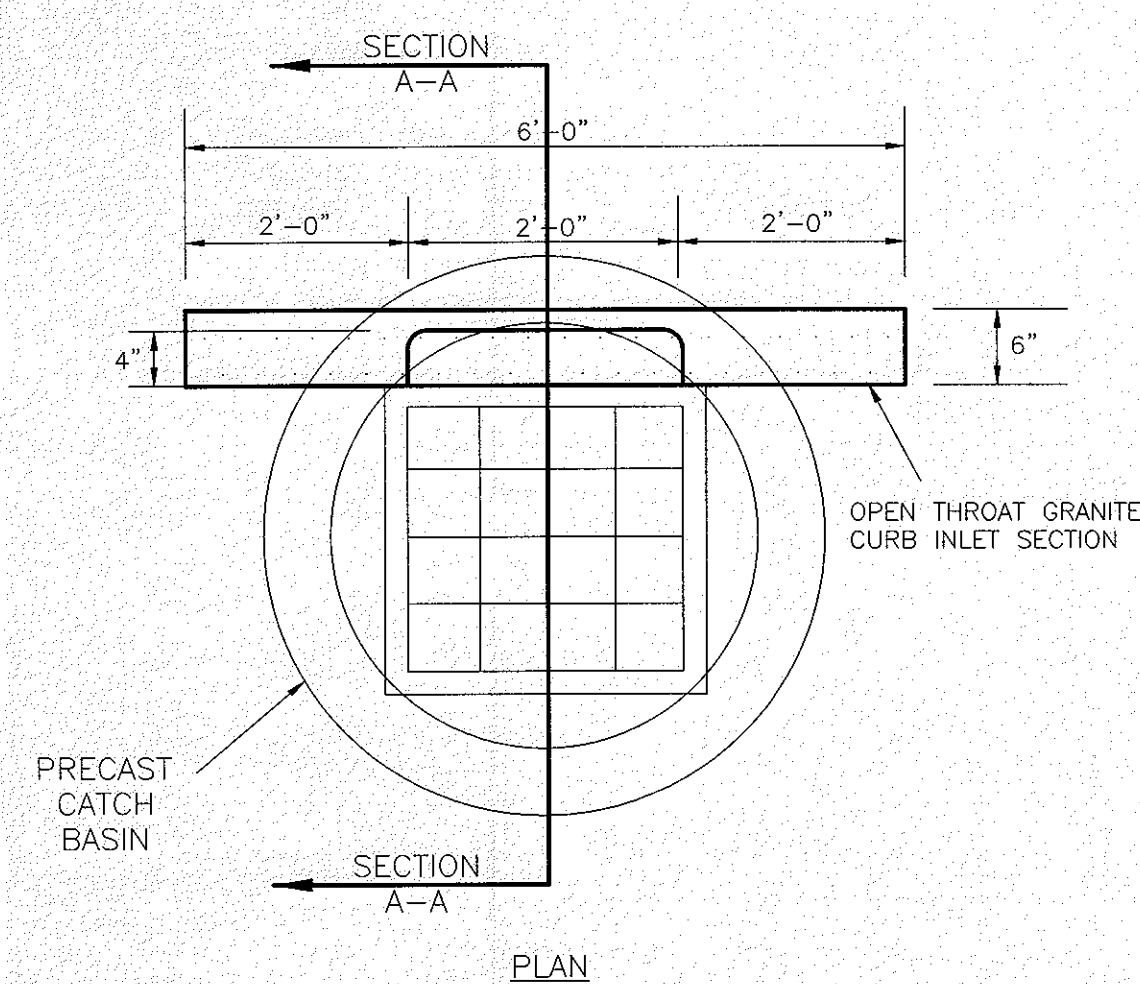
STONE TRENCH FOR
DRIVEWAY RUNOFF
DETAIL
(NOT TO SCALE)



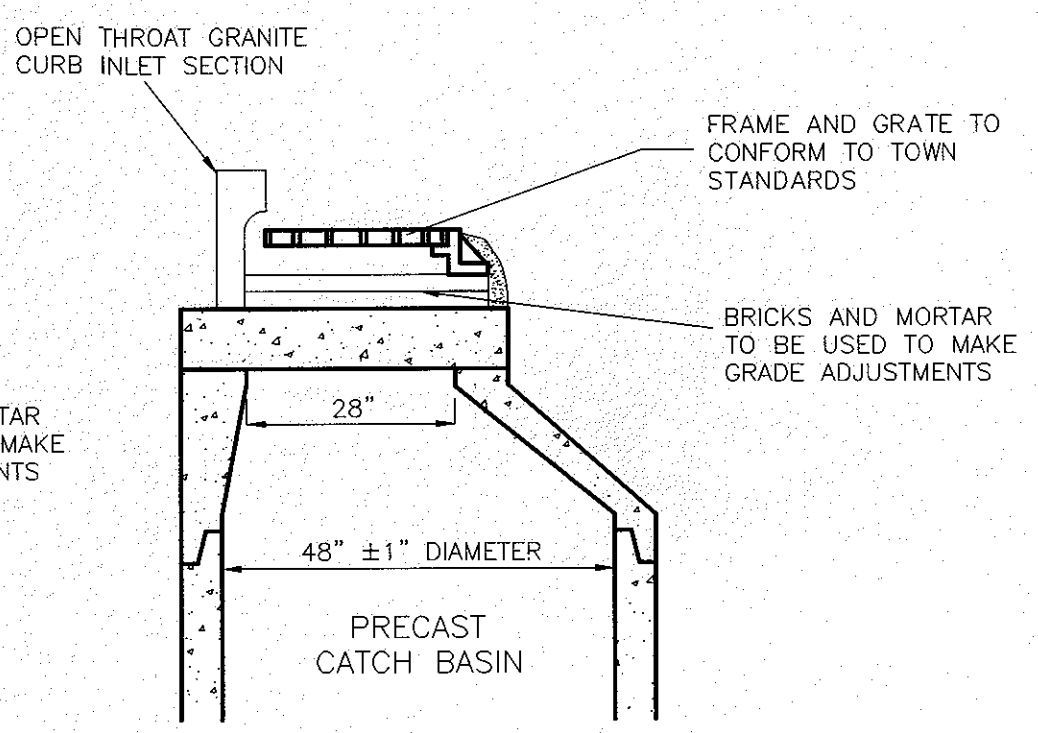
INFILTRATION BASIN
EARTH BERM CONSTRUCTION
(NOT TO SCALE)



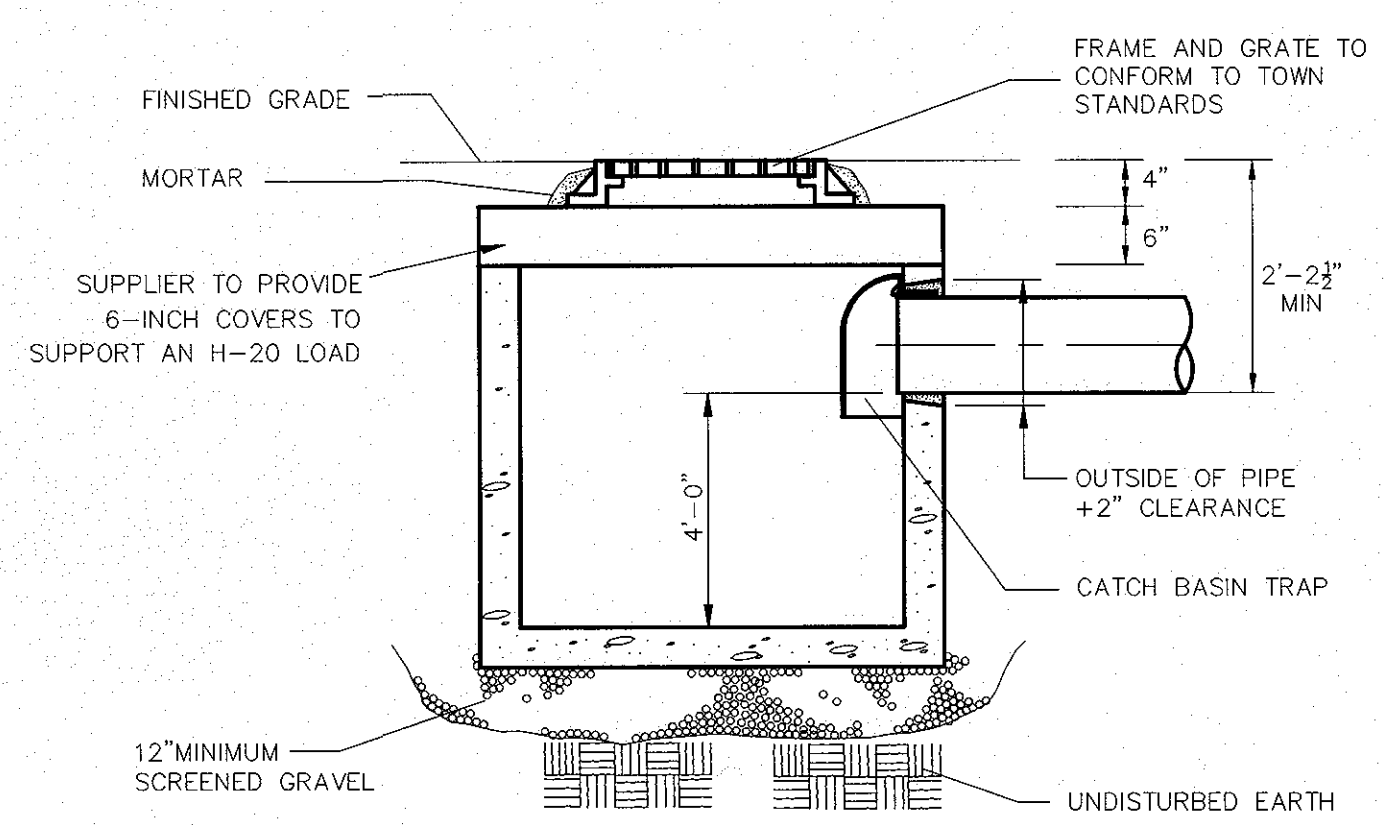
PROPOSED ROOF LEADER
OVERFLOW DETAIL
(NOT TO SCALE)



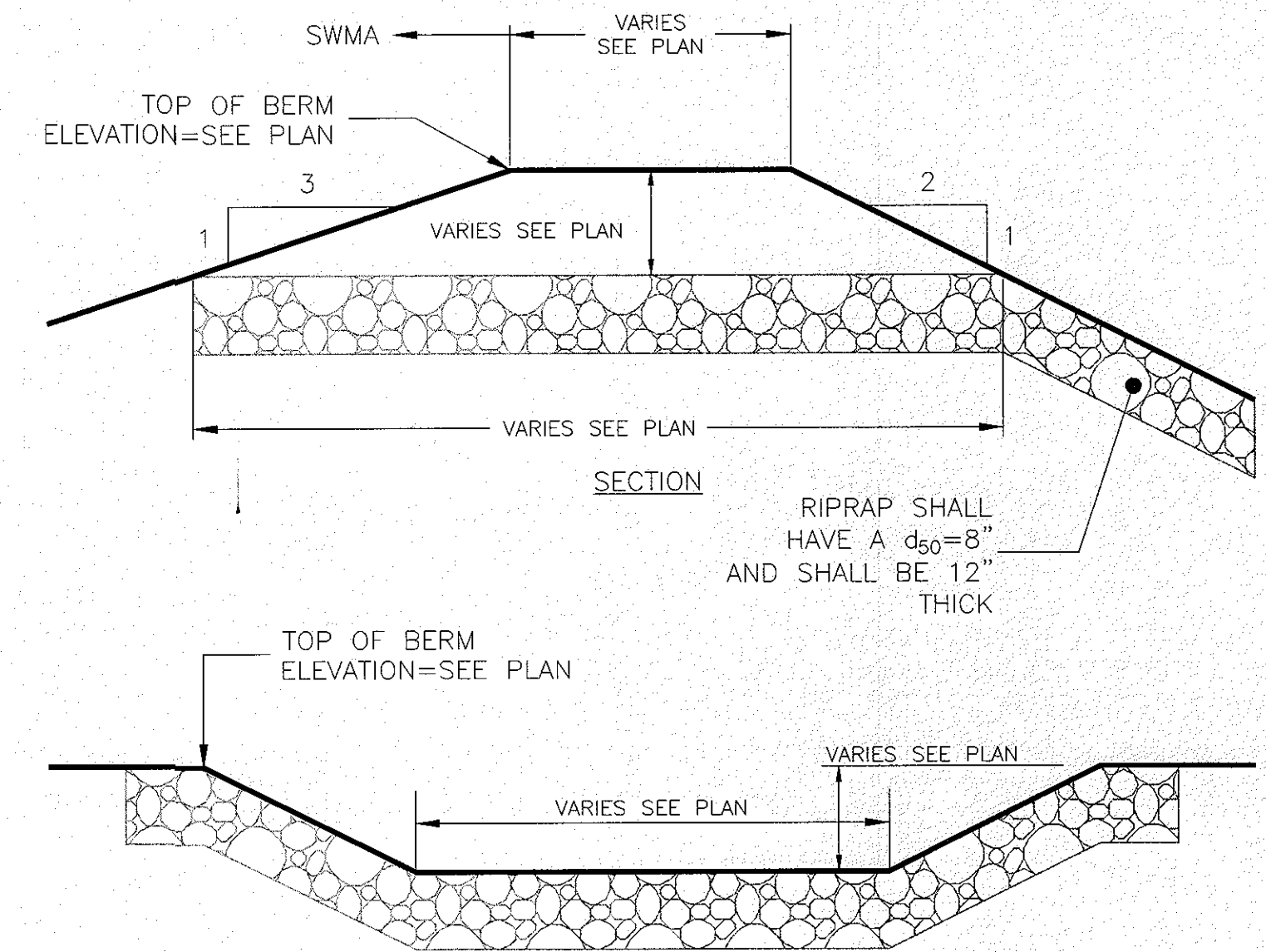
GRANITE CURB INLET DETAIL
(NOT TO SCALE)
SINGLE GRATE



SECTION
A-A



PRECAST SHALLOW CATCH BASIN
DETAIL
(NOT TO SCALE)



STONE SPILLWAY DETAIL
(NOT TO SCALE)

CLERKS CERTIFICATION ON THE PLAN
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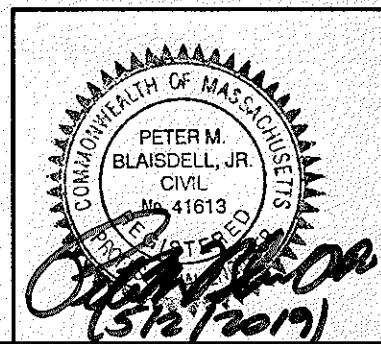
TOWN CLERK

NORTH READING
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DATE: _____

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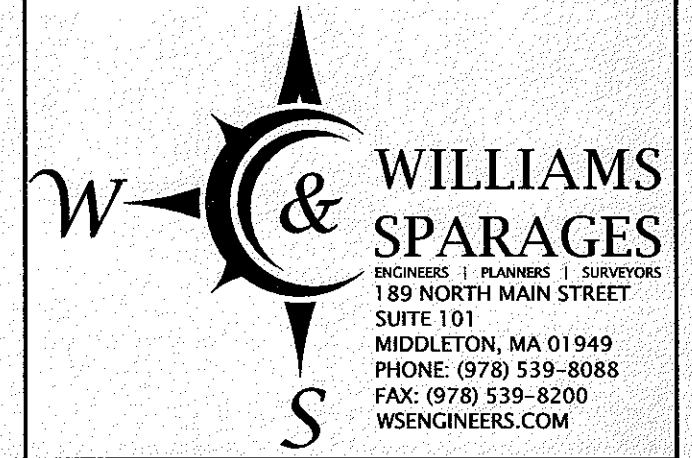
WILLIAMS & SPARGES LLC



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1	PEER REVIEW COMMENTS	3/25/2019
NO.	DESCRIPTION	DATE

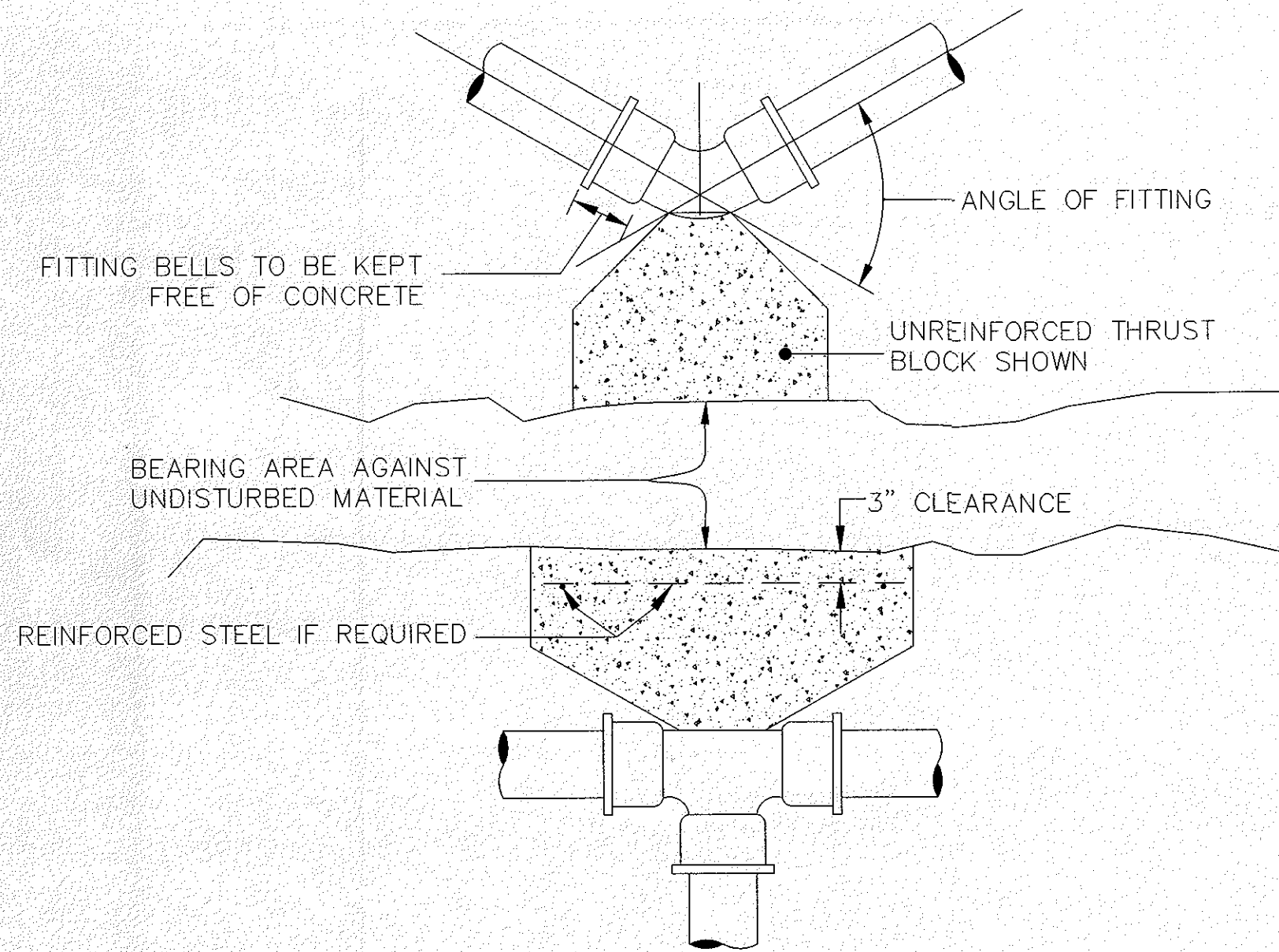
CONSTRUCTION DETAILS
GRAND LEGACY
NORTH READING, MA

OWNER & APPLICANT:
77 ELM STREET LLC
PO BOX 548
NORTH READING, MA 01864
DEED REFERENCE:
BOOK 71352 PAGE 399
ASSESSORS REFERENCE:
MAP 78 LOT 79 & 89



SCALE: NOT TO SCALE
JANUARY 17, 2019

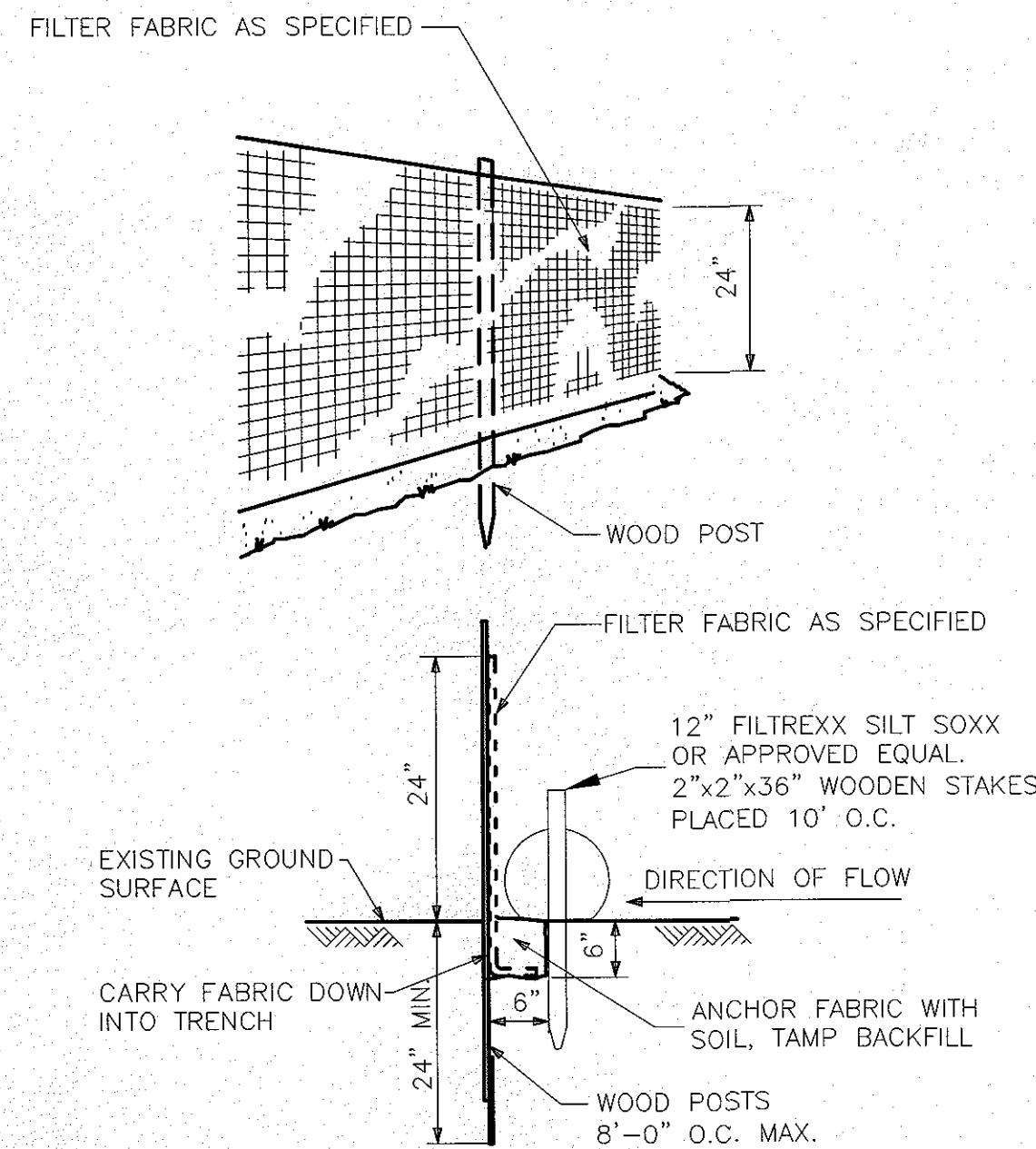
DETAIL SHEET 1 OF 4
SHEET 7 OF 10



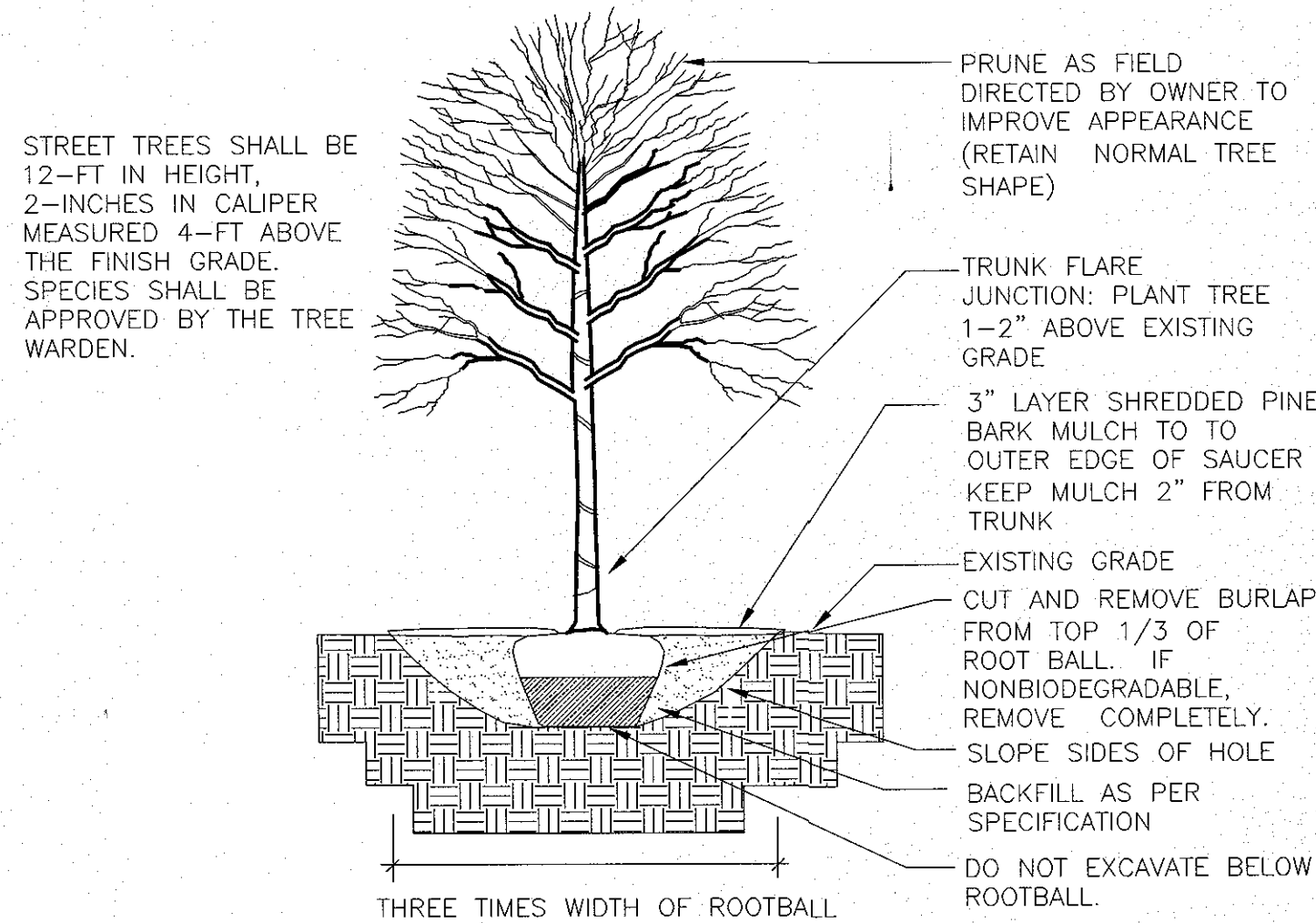
NOTE: THRUST BLOCKS TO BE 3000 P.S.I. CONCRETE PLACED AGAINST UNDISTURBED MATERIAL.

MINIMUM BEARING FACE AREA FOR CONCRETE THRUST BLOCK				
PIPE DIAMETER INCHES	6 in.	8 in.	10 in.	12 in.
HYDRANTS, PLUGS, CAPS, AND TEES (S.F.)	4	6	9	13
90° (S.F.)	8	12	19	26
45° (S.F.)	5	8	13	18
22 1/2° (S.F.)	3	5	7	10

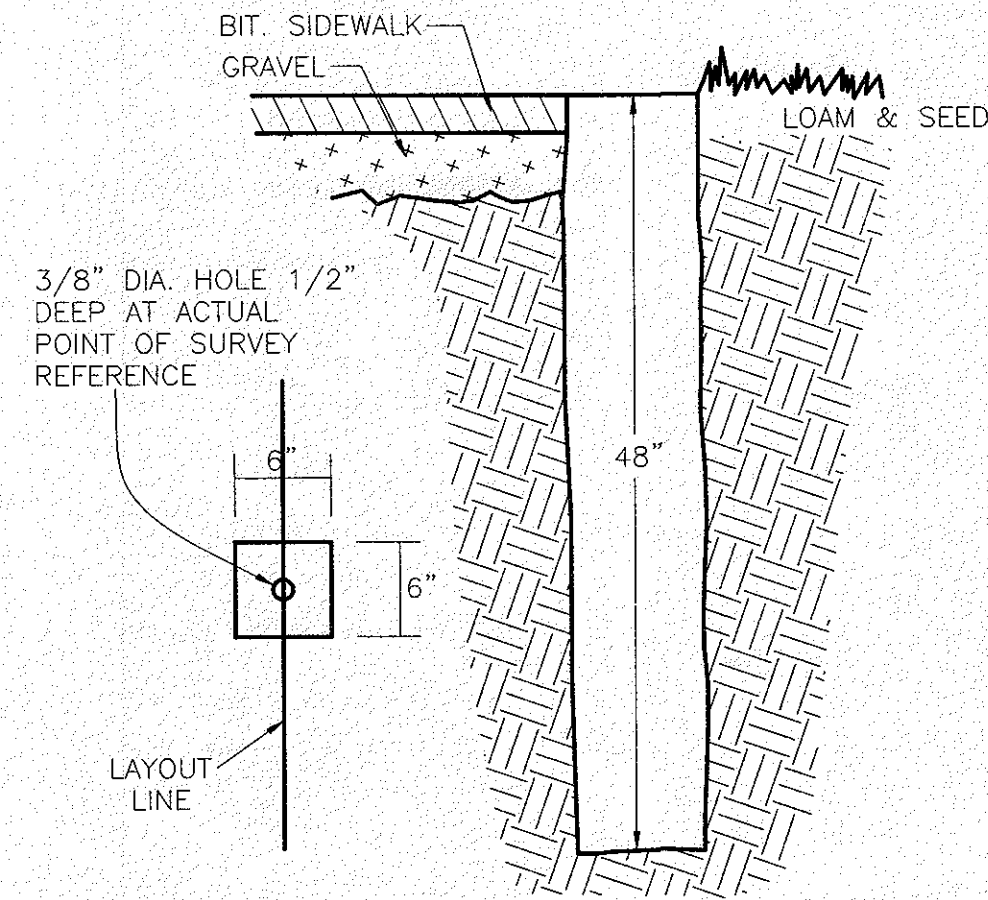
THRUST BLOCK DETAIL
(NOT TO SCALE)



SILTFENCE W/SILT
"SOXX" DETAIL
(NOT TO SCALE)



DECIDUOUS TREE
PLANTING DETAIL
(NOT TO SCALE)



GRANITE BOUND
DETAIL
(NOT TO SCALE)

I CERTIFY THAT I HAVE CONFORMED WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS IN PREPARING THIS PLAN.

WILLIAMS & SPARGES LLC

CLERKS CERTIFICATION ON THE PLAN

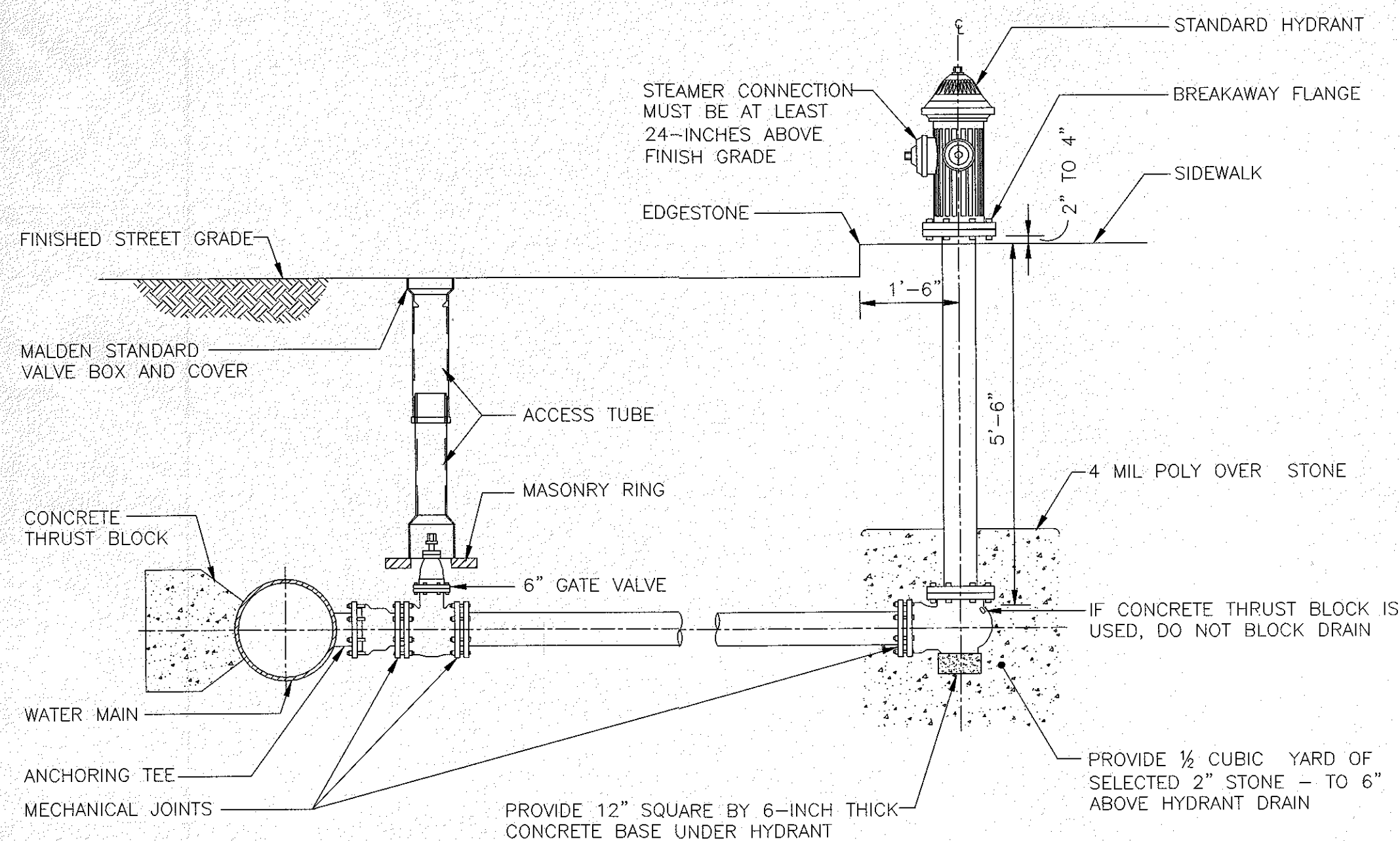
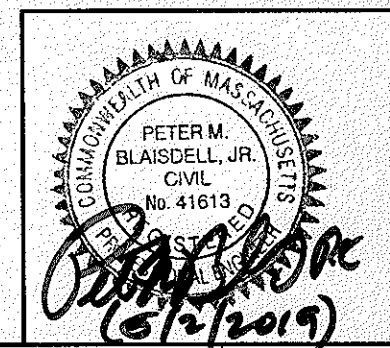
DATE: _____

I, _____, CLERK OF THE TOWN OF NORTH READING, DO HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE COMMUNITY PLANNING COMMISSION HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND THAT NO APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

TOWN CLERK

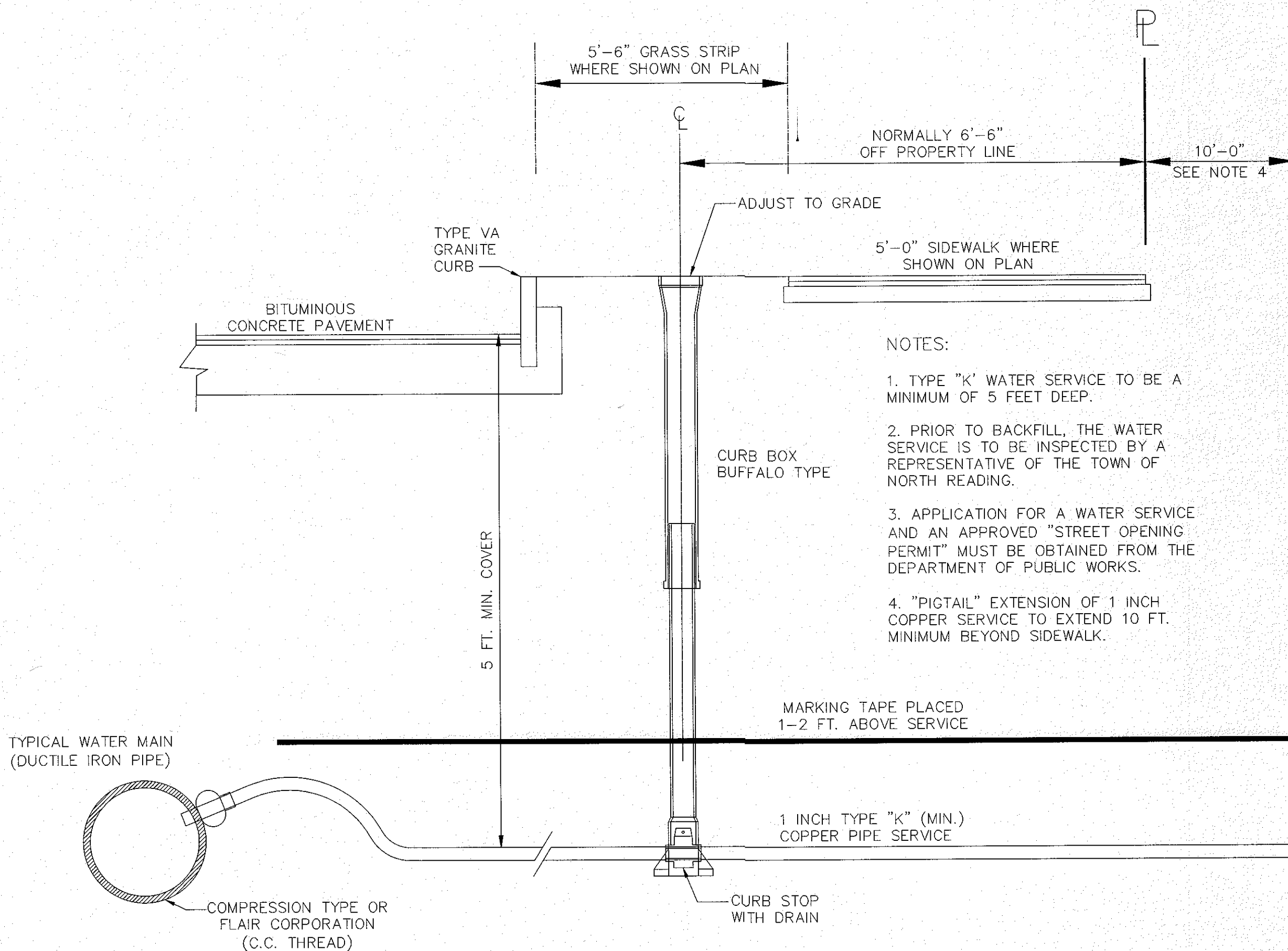
NORTH READING
COMMUNITY PLANNING COMMISSION

DATE: _____



NOTE: CONCRETE THRUST BLOCK TO BE USED ONLY WHERE IT WILL BEAR ON UNDISTURBED EARTH. USE RESTRAINED JOINT FITTINGS (MEGALUG OR APPROVED EQUAL) WHERE CONCRETE THRUST BLOCK IS UNACCEPTABLE. SIZE OF BLOCK OR MEGALUG TO BE DESIGNED FOR 1.5 TIMES NORMAL OPERATING PRESSURE.

TYPICAL FIRE HYDRANT
CONNECTION FOR HIGH
OR LOW SERVICE LINE
DETAIL
(NOT TO SCALE)



TYPICAL WATER SERVICE
DETAIL
(NOT TO SCALE)

NOTE: WATER SERVICE TO CONFORM TO THE TOWN OF NORTH READING STANDARDS SEE SCHEDULE G

NOTES:

1. TYPE "K" WATER SERVICE TO BE A MINIMUM OF 5 FEET DEEP.
2. PRIOR TO BACKFILL, THE WATER SERVICE IS TO BE INSPECTED BY A REPRESENTATIVE OF THE TOWN OF NORTH READING.
3. APPLICATION FOR A WATER SERVICE AND AN APPROVED "STREET OPENING PERMIT" MUST BE OBTAINED FROM THE DEPARTMENT OF PUBLIC WORKS.
4. "PIGTAIL" EXTENSION OF 1 INCH COPPER SERVICE TO EXTEND 10 FT. MINIMUM BEYOND SIDEWALK.

MARKING TAPE PLACED 1-2 FT. ABOVE SERVICE

1 INCH TYPE "K" (MIN.) COPPER PIPE SERVICE

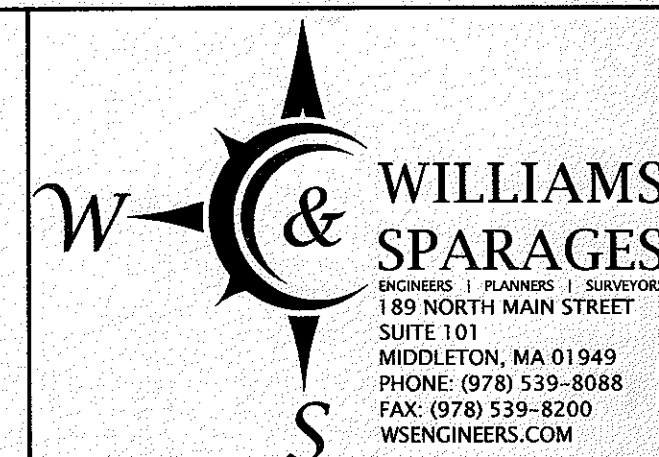
COMPRESSION TYPE OR FLAIR CORPORATION (C.C. THREAD)

NO.	DESCRIPTION	DATE
4		
3		
2		
1	PEER REVIEW COMMENTS	3/25/2019

CONSTRUCTION DETAILS GRAND LEGACY NORTH READING, MA

OWNER & APPLICANT:
77 ELM STREET LLC
PO BOX 548
NORTH READING, MA 01864

DEED REFERENCE:
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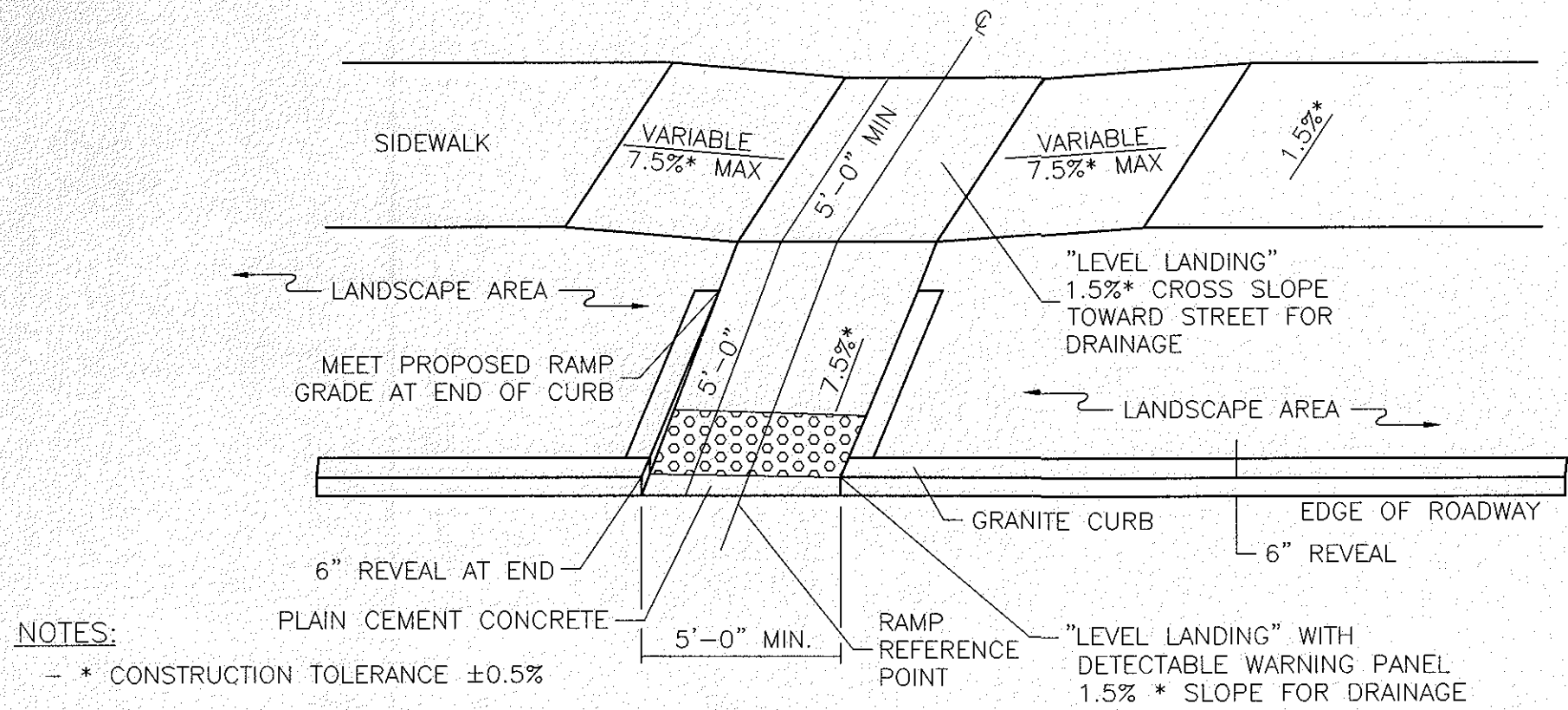


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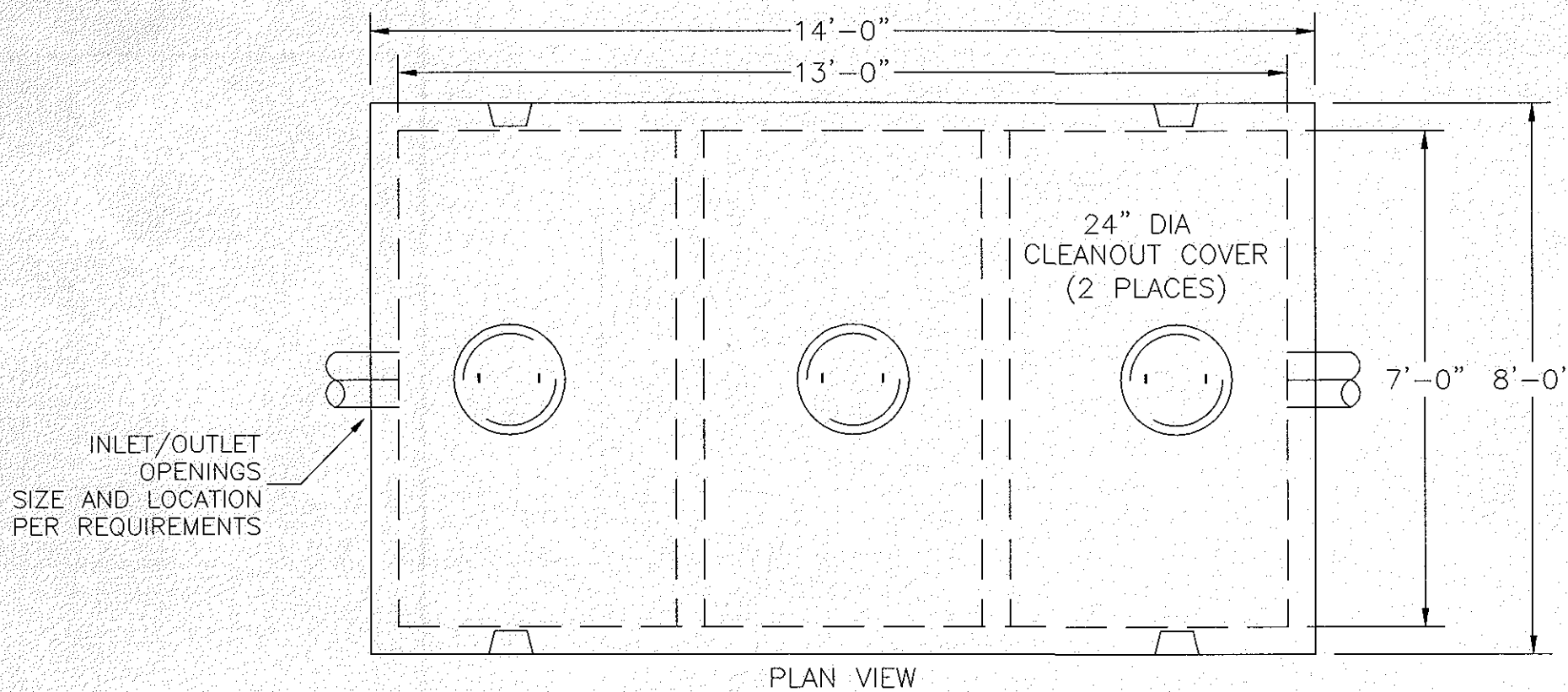
JANUARY 17, 2019

DETAIL SHEET 2 OF 4

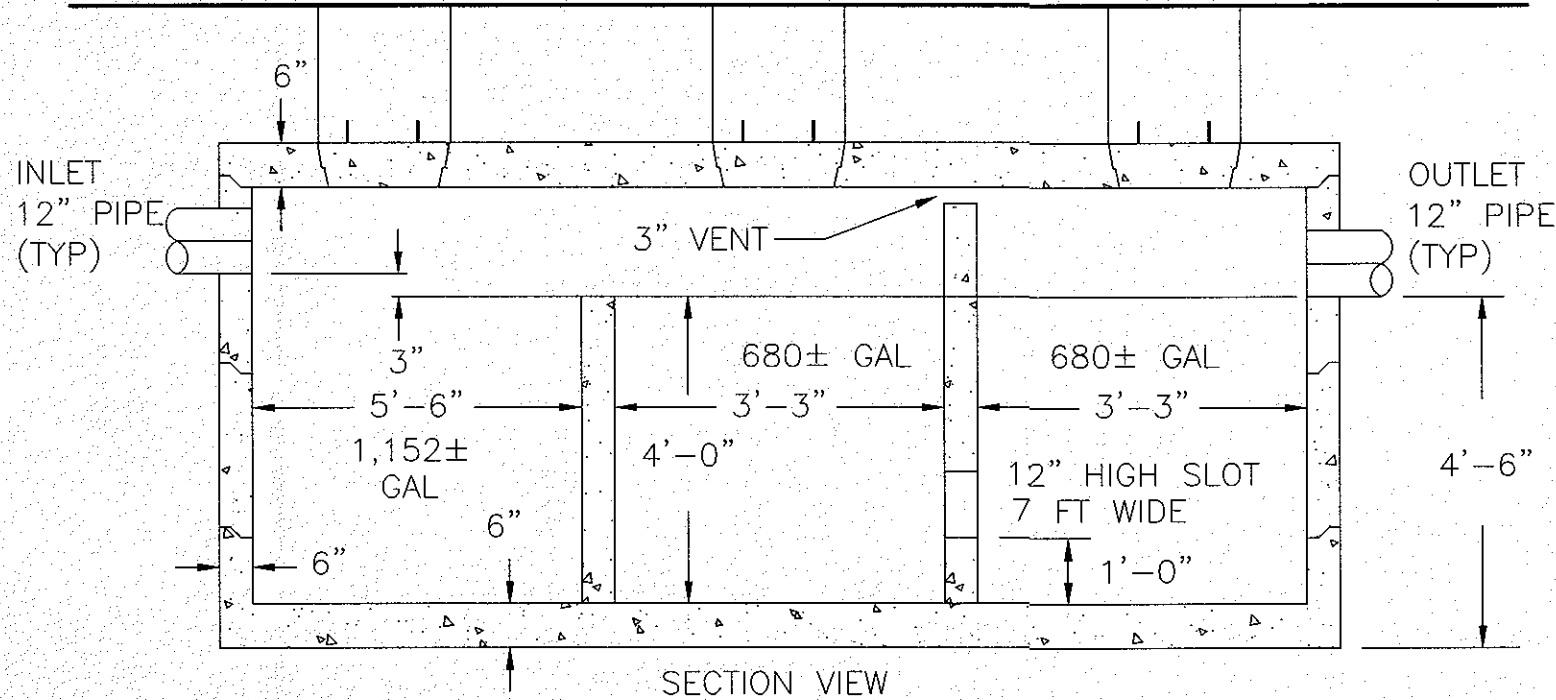
SHEET 8 OF 10



WHEELCHAIR RAMP
(NOT TO SCALE)



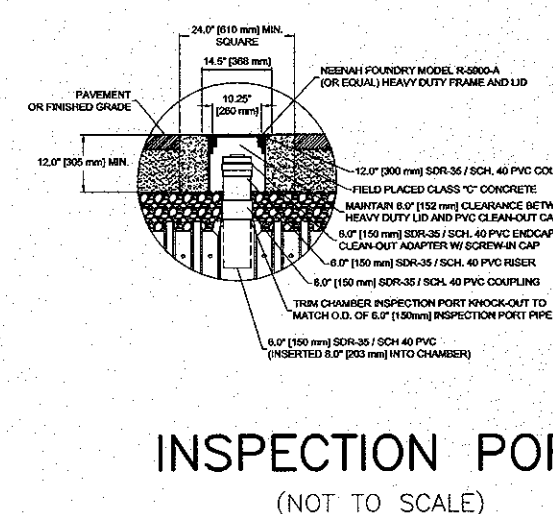
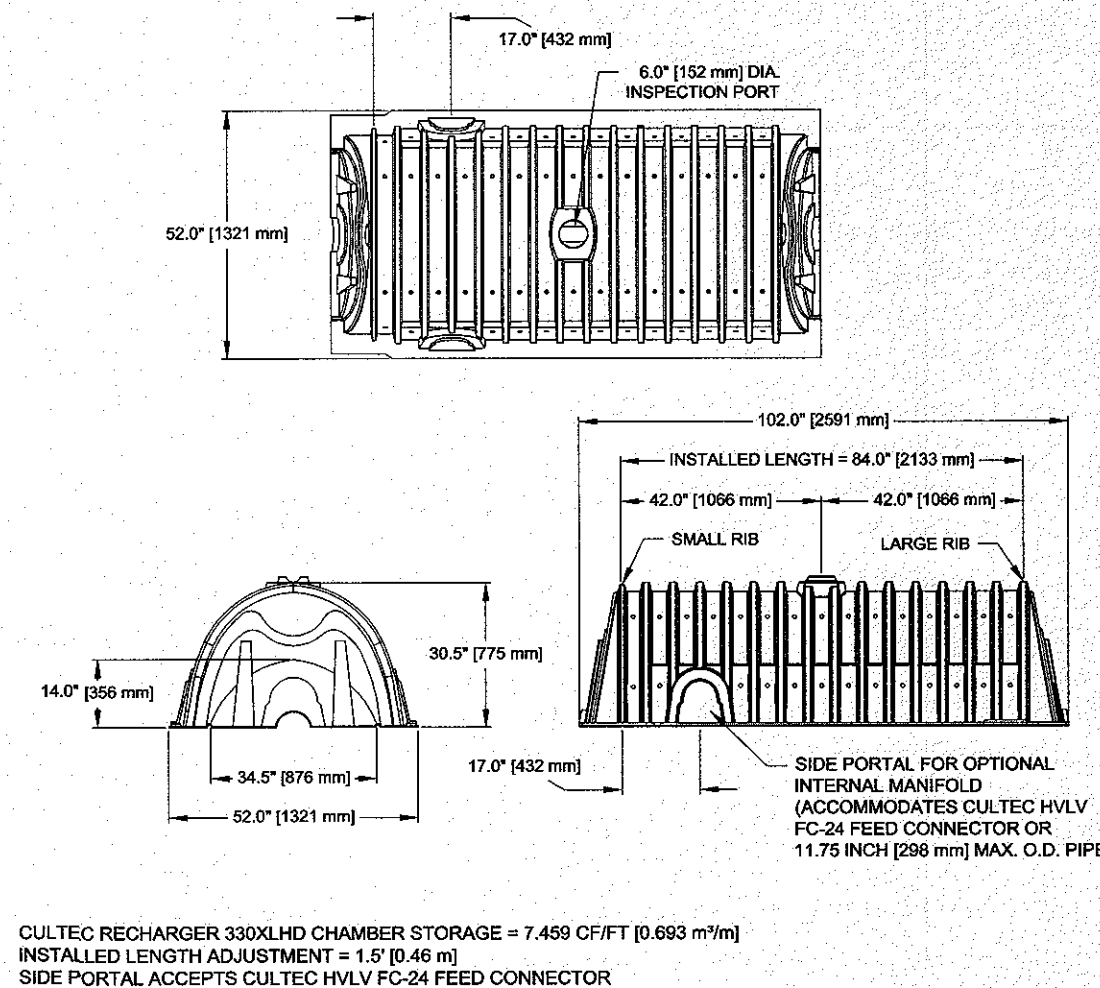
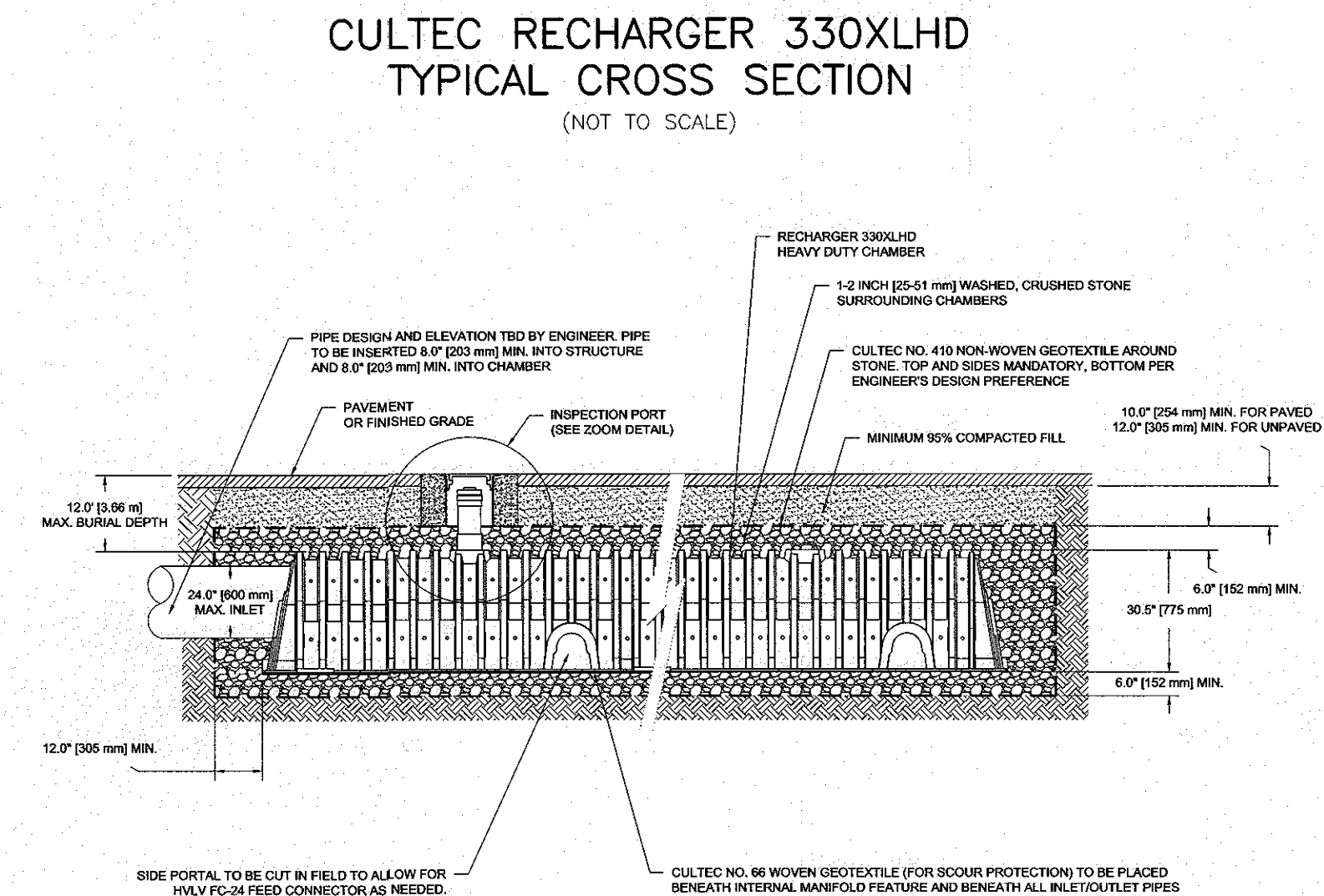
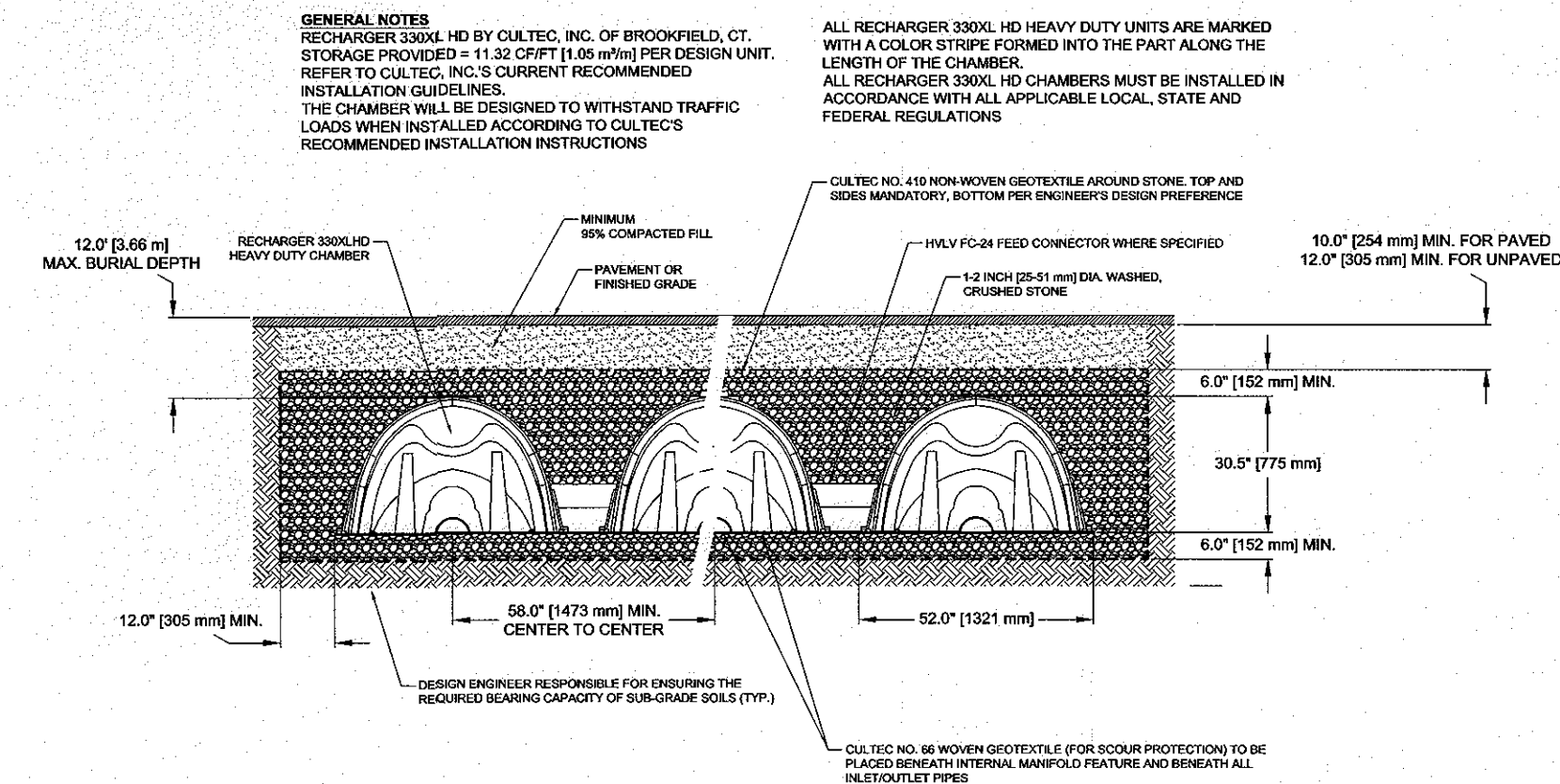
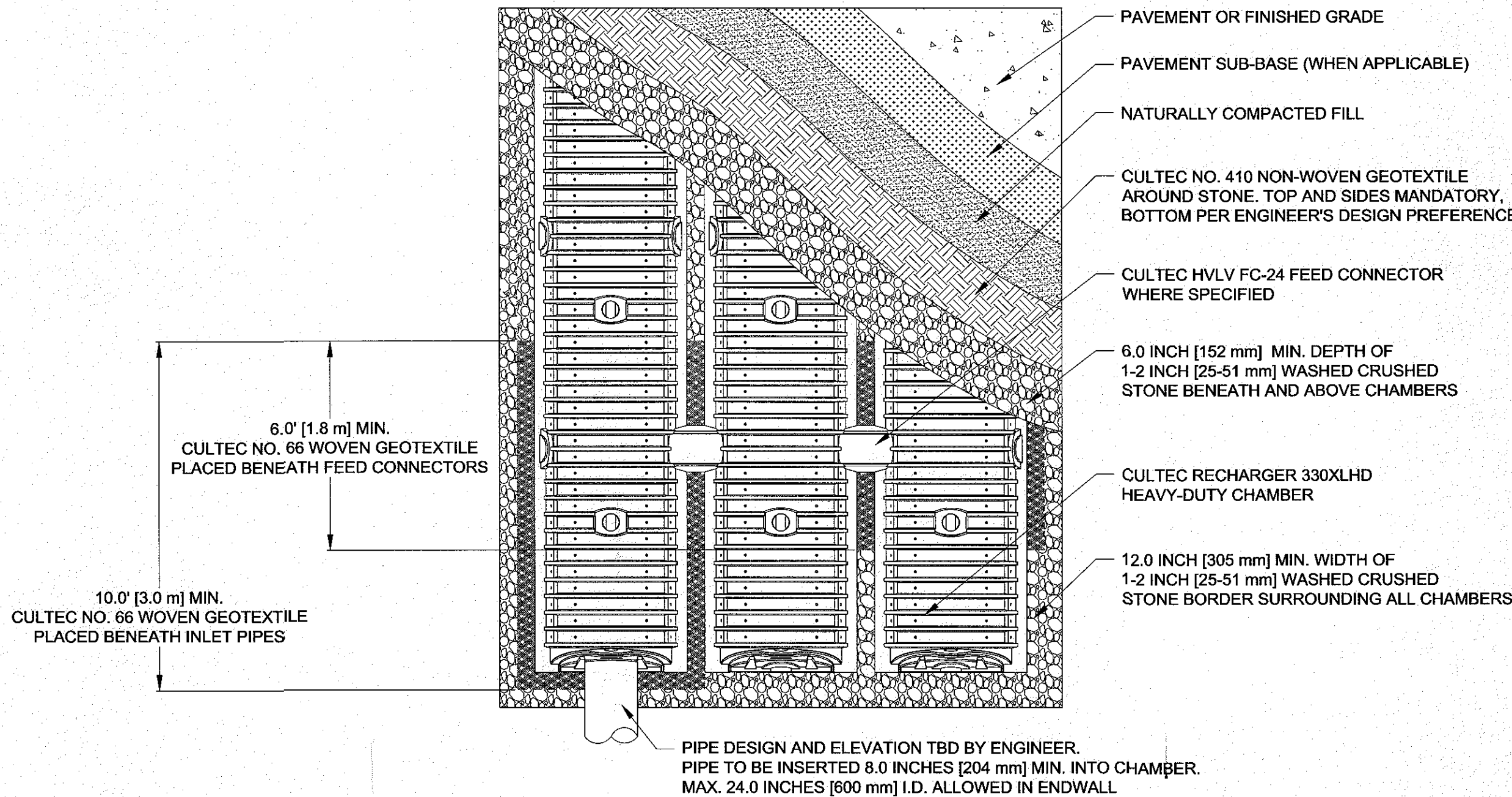
EXTEND RISERS TO FINISH GRADE



NOTES:

1. CONCRETE: 5,000 PSI MINIMUM AFTER 28 DAYS.
2. DESIGNED FOR H=20 LOADING, COVER 1 TO 5 FEET.
3. TONGUE AND GROOVE JOINT SEALED WITH BUTYL RESIN. INLET HEIGHT MAY INCREASE SLIGHTLY DUE TO THE BUTYL RESIN USED.

2500 GALLON SEDIMENT AND OIL SEPARATOR
(NOT TO SCALE)



I CERTIFY THAT I HAVE CONFORMED
WITH THE RULES AND REGULATIONS
OF THE REGISTERS OF DEEDS IN
PREPARING THIS PLAN.

WILLIAMS & SPARAGES LLC

CLERK'S CERTIFICATION ON THE PLAN

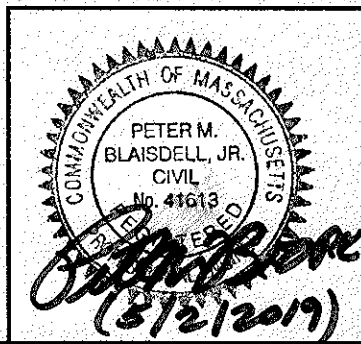
DATE: _____

I, _____, CLERK OF THE TOWN OF NORTH
READING, DO HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS
PLAN BY THE COMMUNITY PLANNING COMMISSION HAS BEEN RECEIVED
AND RECORDED AT THIS OFFICE AND THAT NO APPEAL WAS RECEIVED
DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING
OF SAID NOTICE.

TOWN CLERK

NORTH READING
COMMUNITY PLANNING COMMISSION

DATE: _____

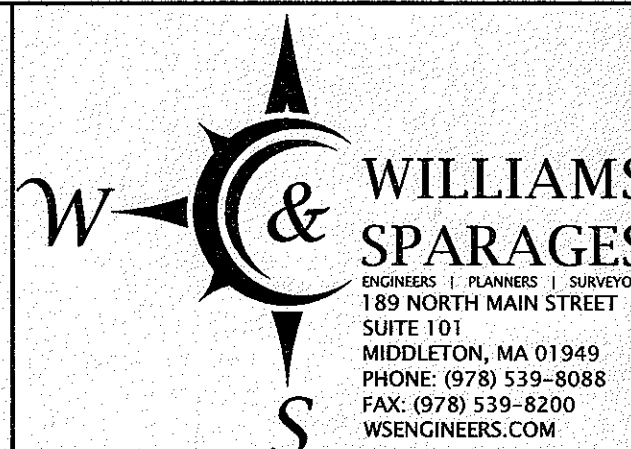


4		
3		
2		
1	PEER REVIEW COMMENTS	3/25/2019
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CONSTRUCTION DETAILS GRAND LEGACY NORTH READING, MA

OWNER & APPLICANT:
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SCALE: NOT TO SCALE

JANUARY 17, 2019

DETAIL SHEET 3 OF 4

SHEET 9 OF 10

